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AGENDA

Committee	PLANNING COMMITTEE
Date and Time of Meeting	WEDNESDAY, 12 JULY 2017, 2.30 PM
Venue	COMMITTEE ROOM 4 - COUNTY HALL
Membership	Councillor Keith Jones (Chair) Councillors Gordon, Ahmed, Asghar Ali, Congreve, Driscoll, Hudson, Jacobsen, Jones-Pritchard, Lay, Murphy and Keith Parry

1 Apologies for Absence

2 Minutes

To approve as a correct record the minutes of the meeting held on 21 June 2017 – to follow

3 Declarations of Interest

To be made at the commencement of the agenda item in question, in accordance with the Members Code of Conduct.

4 Petitions

Petitions have been received in relation to the following applications in accordance with Committee Meeting Procedural Rule 14.2. The petitioners have been advised of their right to speak and the applicants/agents of their right to reply:

Application 16/02752/MJR, Lozelles, Church Road, Lisvane

5 Development Control Applications

The schedule of development control applications has been circulated under separate cover.

5a 16/02752/MJR, Lozelles, Church Road, Lisvane (*Pages 1 - 24*)

5b 16/01107/MJR, Duke of Clarence Hotel, 48 Clive Road, Canton (*Pages 25 - 42*)

By receiving this Agenda Pack electronically you have saved the Authority approx. £** in printing costs

- 5c** 16/02793/MJR, The Gower Hotel, 29 Gwynneth Street, Cathays (*Pages 43 - 64*)
- 5d** 17/00968/MJR, Land to the South of Snowden Road and East of Wilson Road, Ely (*Pages 65 - 92*)
- 6** **Applications decided by Delegated Powers - June 2017** (*Pages 93 - 132*)

Davina Fiore

Director Governance & Legal Services

Date: Thursday, 6 July 2017

Contact: Kate Rees, 029 2087 2427, k.rees@cardiff.gov.uk

This document is available in Welsh / Mae'r ddogfen hon ar gael yn Gymraeg

PETITION, COUNCILLOR CONCERNS, AM CONCERNS

COMMITTEE DATE: 12/07/2017

APPLICATION No. **16/02752/MJR** APPLICATION DATE: 02/12/2016ED: **LISVANE**

APP: TYPE: Full Planning Permission

APPLICANT: PHG CAPITAL

LOCATION: LOZELLES, CHURCH ROAD, LISVANE, CARDIFF, CF14 0SJ

PROPOSAL: PROPOSED RESIDENTIAL DEVELOPMENT COMPRISING 2 HOUSES AND 11 SELF CONTAINED APARTMENTS WITH NEW ACCESS ROAD, PARKING, CYCLE, REFUSE STORAGE AND AMENITY FACILITIES

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding planning obligation in agreement with the Council under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 9.0 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans:
 - AL(00)01 Existing plans elevations,
 - AL(00)02 Proposed plot A Rev B,
 - AL(00)03 Proposed plot C,
 - AL(00)04 Proposed Plot D Floor Plans ,
 - AL(00)05 Proposed Plot B,
 - AL(00)10 Plot A Elevations Rev D,
 - AL(00)11 Proposed plot C elevation,
 - AL(00)12 Proposed plot D,
 - AL(90)01 Proposed Block Plan Rev H,
 - AL(90)03 Vehicle tracking plan Rev C,
 - AL(90)100 Existing site plan,
 - 2907 Arboricultural Method Statement (September 2016),
 - 2907 Lozelles Soil Resources Report (September 2016),
 - 2907-001 TPP Rev C,
 - 2907-002 Landscaping plan Rev C,
 - Traffic Assessment by Jubb (December, 2016),
 - Ecology Assessment (October 2016)

Reason: To ensure satisfactory completion of the development and for

the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. E1B Samples of Materials
4. No development shall be undertaken until details of the construction of the internal roads, including a sample of the finish surface, shall be submitted to and approved in writing with the Local Planning Authority. The approved details shall implemented before occupation of any of the residential units hereby approved and shall thereafter be retained.
Reason: To ensure an acceptable finish and surface water is controlled from the site. In accordance with Policy KP5 and EN10 of the adopted Cardiff Local Development Plan (2006-2026).
5. The upper floor windows on the west elevation of plot B shall be sited a minimum of 10.5 metres from the western boundary.
Reason: For the avoidance of doubt.
6. No development shall take place until a scheme for the drainage of the site, including an investigation on using SUDS, and any connection to the existing drainage system has been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the scheme is carried out and completed as approved.
Reason: To ensure an orderly form of development. In accordance with Policy KP5 and EN10, of the adopted Cardiff Local Development Plan (2006-2026).
7. The proposed car/cycle parking and manoeuvring areas shall be laid out in accordance with the approved details before the development is brought into beneficial use and be thereafter maintained and retained at all times for those purposes in association with the development.
Reason: To make provision for the parking of vehicles clear of the roads so as not to prejudice the safety, convenience and free flow of traffic. In accordance with Policy T5 of the adopted Cardiff Local Development Plan (2006-2026).
8. No residential property hereby approved shall be occupied until engineering, including sectional, drawings of the proposed new public footway have been submitted to and approved in writing with the Local Planning Authority The submitted details shall include but not limited to a 'no-dig' construction as shown dwg no. 2907-001 Rev C and shall be informed by a Arboricultural method statement.
Reason: To ensure an acceptable footpath to adoptable standards is built. In accordance with Policy T1 of the adopted Cardiff Local Development Plan (2006-2026).
9. No development shall take place until details of the proposed access onto Church Road have been submitted to and approved in writing with the Local Planning Authority. These details shall ensure that the access point onto Church Road is a minimum width of 5.5 metres.

Reason: To ensure a satisfactory means of access onto the adopted highway. In accordance with Policy T6 of the council's Adopted Cardiff Local Development Plan (2006-2026).

10. No construction activity in relation to this approval shall be undertaken until a construction management plan, which shall include but not limited to the proposed routes construction vehicles will enter the site, has been submitted and approved in writing with the Local Planning Authority.

Reason: To ensure the impact on the adjoin roads is acceptable In accordance with Policy T5 of the adopted Cardiff Local Development Plan (2006-2026).

11. All planting, seeding, turf-laying and paving shown on the approved plans number 2907-002 Rev C shall be carried out in the first planting and seeding season following the occupation of the building or the completion of the development, whichever is sooner.

Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority (LPA) otherwise defective, shall be replaced in the first available planting season and to the specification shown on approved plans and in supporting documents, unless the LPA gives written consent to any variation.

Reason: To maintain and improve the amenity and environmental value of the area. In accordance with Policy KP5 & EN8 of the adopted Cardiff Local Development Plan (2016-2026).

12. During construction the trees shall be protected as shown on approved plan 2709-001 Rev C.

Reason: To ensure amenity and environmental value of the area. In accordance with Policy EN8 of the adopted Cardiff Local Development Plan (2016-2026).

13. The development hereby approved shall be undertaken in accordance with the recommendations outlined in chapter 8 of the Ecology Assessment dated 2016 from Ethos Environment Planning.

Reason: To ensure protected species are no affected by this development in accordance with conservation of Habitats and Species Regulations 2010 (as amended).

14. No development shall be undertaken until details of a lighting strategy has been submitted and approved in writing with the Local Planning Authority. The approved details shall be implemented on site before the occupation of the units hereby approved and shall thereafter be retained.

Reason: To ensure protected species are not affected by this development in accordance with conservation of Habitats and Species Regulations 2010 (as amended).

15. The development hereby approved shall not in any circumstances commence unless the local planning authority has been provided with either:
- (a) a licence issued by [the relevant licensing body] pursuant to Regulation 53 of The Conservation of Habitats and Species Regulations 2010 (as amended) authorising the specified activity/development to go ahead; or
 - (b) a statement in writing from the relevant licensing body to the effect that it does not consider that the specified activity/development will require a licence.
- Reason : To ensure protected species are no affected by this development in accordance with conservation of Habitats and Species Regulations 2010 (as amended).
16. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order amending, revoking, or re-enacting that Order) no structure, or extension shall be placed within the curtilage of any dwelling or alteration to any roof.
Reason: To maintain and improve the amenity and environmental value of the area. In accordance with Policy KP5 of the adopted Cardiff Local Development Plan (2016-2026).
17. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order amending, revoking, or re-enacting that Order) no gate, fence, wall or other means of enclosure shall be erected, constructed or placed within the curtilage of any dwelling house forward of any wall of that dwelling house which fronts onto a highway without the prior written consent of the local planning authority.
Reason: The comprehensive design and layout of the development would be adversely affected by the erection of means of enclosure, particularly of different types, in front of dwellings. In accordance with Policy KP5 of the adopted Cardiff Local Development Plan (2016-2026).

RECOMMENDATION 2 : To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3 : The applicant is advised no works shall be undertaken that affects the public highway until a S. 278 Agreement has been signed by the Council's Highways Section.

RECOMMENDATION 4 : Prior to the commencement of development, the developer shall notify the local planning authority of the commencement of development , and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management procedure) (Wales) (Amendment) Order 2016.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The application was presented at the 21st June 2017 Planning Committee and was deferred for a site visit which took place on 3rd July 2017.
- 1.2 Full Planning permission is sought for redevelopment of the site from one house to a mixture of 2 houses and 11 flats.
- 1.3 The site is configured with two blocks of flats (plots A & B) located towards the southern boundary, and plot C, being the extended existing house, located towards the northern boundary. Blocks A, B and C would be accessed from the new Church Road junction, with a further plot D (new 5-bedroom house) sited towards the northern boundary and accessed from Heol-y-Delyn.
- 1.4 The proposal also seeks a new footpath to connect Heol-y-Delyn to the shops along Church Road. The applicant is willing for this footpath to be formally adopted by the Council (see site plan AL (90)01 Rev G).
- 1.5 The application has been subject to the statutory 28-day pre-application consultation (PAC) which has informed both the PAC Report and Design and Access Statements.
- 1.6 The application has been amended by removing three flats from the proposal, providing a no-dig along part of the proposed footpath, change in materials to the buildings, parking spaces and internal road.

2. **DESCRIPTION OF SITE**

- 2.1 The site is a 0.38 ha corner plot located on the Church Road/ Heol-y-Delyn Junction. The site contains a Victorian house and outbuildings which are positioned to the north of the site with the remaining area being garden to serve the house. The site is generally flat and enclosed by a mature hedgerow. Along the Church Road boundary are two mature purple beech trees that are protected by Tree Preservation Orders (City and County of Cardiff (Plas-y-Delyn Area, Lisvane) TPO 2009)
- 2.2 The property has a vehicular access onto both Church Road and Heol-Y-Delyn.
- 2.3 The eastern boundary of the site adjoins Church Road which is a single carriageway highway approximately 5 metres wide with street lighting but no footways. There are double yellow lines on both sides of the road but no white lining. A 20 mph speed limit has recently been introduced together with speed tables at the junctions with Heol y Delyn and Cefn Mably Road.

- 2.4 Heol y Delyn is lit and, except for a short distance between Church Road and the access to Lozelles, there are footways on both sides.
- 2.5 The western boundary of the application site adjoins the side boundary of an extended semi-detached house known as Helfa which fronts onto Heol-y-Delyn. To the north of the application site, on the opposite side of Heol-y- Delyn, lies Lisvane Library/Community Centre.
- 2.6 The site is not located within a Conservation area or a defined flood risk zone.

3. **SITE HISTORY**

- 3.1 15/02618/MNR- outline permission for 1 detached house- approved;
- 3.2 15/0583/MNR outline permission for two detached houses- approved.

4. **POLICY FRAMEWORK**

- 4.1 Planning Policy Wales Ed. 9 (2016);
- 4.2 Technical Advice Note (TAN): 5 (Nature Conservation and Planning), 12 (Design), 18(Transportation);
- 4.3 The Cardiff Local Development Plan 2006-2026 provides the local planning policy framework. Relevant policies include:

KP5: Good Quality and Sustainable Design;
KP6: New Infrastructure;
KP7: Planning Obligations;
KP8: Sustainable Transport;
KP14: Healthy Living;
KP15: Climate Change;
H3: Affordable Housing;
T1: Walking and Cycling
T5: Managing Transport Impacts;
T6: Impact on Transport Networks and services;
EN7: Priority Habitats and Species;
EN 8: Trees, Woodlands and Hedgerows;
EN10: Water Sensitive Design;
EN13: Air, Noise, Light Pollution and Land Contamination.
C1: Community Safety and Creating Safe Environment
C5: Provision for Open Space, Outdoor Recreation, Children's' Play and Sport
W2 Provision of Waste Management Facilities in Development

- 4.4 Further advice is provided in the following adopted Supplementary Planning Guidance documents:
Planning Obligations (January 2017);
Cardiff Residential Design Guide (January 2017);

- 4.5 The documents below were approved as supplementary guidance to the City of Cardiff Local Plan which was superseded by the Cardiff Local Development Plan on 28th January, 2016. The Council will shortly be embarking on a programme of updating and revising previously approved SPG. Notwithstanding this position, the advice contained within the SPG is consistent with the aims of relevant LDP policies and therefore remains pertinent to the consideration of the current application, assisting in informing the assessment of relevant matters.

Access, Circulation and Parking (January, 2010);
Trees and Development (March, 2007);
Biodiversity (part 1&2) (June 2011);

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Operational Manager (Transportation): No objections subject to conditions on parking provision construction management plan and details plans of the proposed footpath. A number of design considerations would be considered under S.278 of the Highways Act.
- 5.2 Operational Manager (Drainage) has been consulted and no comments have been received
- 5.3 The Housing Strategy Manager states that, given the scale and nature of development proposed, it is considered that a financial contribution of £232,290 shall be sought in lieu of on-site affordable housing.
- 5.4 Parks Officer: No objection subject to a financial contribution of £23,137 for public open in lieu of on-site requirements;
- 5.5 Waste management seek financial contribution of £1,760.00 for the appropriate refuse containers.
- 5.6 Trees Officer: No objection subject to conditions relating to retaining landscaping, and for a 'no-dig' including materials to be submitted for approval
- 5.6 Pollution Control: No objection subject to plant and lighting scheme conditions
- 5.7 Ecology Officer: No objection subject to conditions
- 5.8 Conservation Officer: No objection

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Natural Resources Wales: No objection subject to conditions on the developer gaining an EPS license and for a lighting strategy;
- 6.2 South Wales Fire and Rescue Service: No objection, but make a number of observations that are controlled through Building Regulations;

6.3 South Wales Police: No objections to the scheme;

6.4 CADW: Have no comments to make on the application

7. **REPRESENTATIONS**

7.1 Neighbouring properties have been notified with additional publicity undertaken by site and local press notices. A total of 20 letters of representation have been received. All object on the following grounds:

- i) The proposal is out of character with the village area with the three storey element looking like an office block (example given is that of the former Morgan Cole Solicitors office on the corner of Park Place and Stuttgarter Strasse);
- ii) The development is visually overbearing upon the character of the area;
- iii) Given its siting and design, the development would be overbearing and un-neighbourly upon the surrounding houses;
- iv) The development will result in the loss of privacy and amenity of the surrounding houses
- v) There is insufficient parking provision which will overflow onto the adjoining roads, which are already at capacity (circa 6000 vehicle movements per day);
- vi) The footpath will not connect with the shops as there is a wall blocking the route which is outside the ownership of the applicant;
- vii) During construction, given the narrowness of Church Road, it will make it difficult for construction vehicles to access and egress the site safely without affecting the existing traffic that currently uses this road;
- viii) How will the proposal ensure the path will be adopted and linked to land outside the ownership of the developer?
- ix) The scheme is allegedly marketed as retirement housing but nothing in the plans would indicate that the scheme is for that market e.g lifts.
- x) The impact of the development on house values
- xi) The development will impact upon the ability of adjoining properties to access their own properties.
- xii) The impact upon protected species, such as dormice.

7.2 A petition of 111 signatures has been submitted in objection to the scheme on the following grounds:

Overdevelopment of the site;
Out of keeping with the area;
Unacceptable impact upon the existing roads due to insufficient parking provision

- 7.3 Councillor Walker: Wishes to address the committee and request a site visit;
- 7.3 Craig Williams, former Member of Parliament for Cardiff North raises concerns over traffic impact upon the narrow Church Road. It is also requested that the impact upon the listed church is taken into consideration
- 7.4 Julie Morgan, Assembly Member for Cardiff North: Objects on the grounds that the proposal is an overdevelopment of the site, insufficient parking provision, unacceptable impact upon the existing road network and believes the proposal would be un-neighbourly upon the properties at Plas-y-Delyn.
- 7.5 Lisvane Community Council: provides a comprehensive objection which can be summarised as follows:
1. The development would be unsympathetic, incongruous and cramped. It would fail to respect the essentially rural nature of the immediately surrounding area. Although the response to the pre-application consultation makes much of the plans to retain trees and hedgerow, that does not alter the fact that development on the proposed scale in the historic heart of Lisvane village would be entirely inappropriate.
 2. Business 'rush hour' and school start and finish times already generate high traffic volumes on Church Road, the narrow country lane adjacent to the proposed site, which is barely wide enough for two vehicles to pass.
 3. The road safety problem would be exacerbated by the wholly unsuitable locations of the access points. The one on Church Road would be dangerously close to the parking area outside the shops and the junction with Cefn Mably Road, while that on Heol-y-Delyn would be very close to the junction with Llwyn-y-Pia Road. Church Road, Heol-y-Delyn and Llwyn-y-Pia Road are part of a popular 'rat run' to and from Thornhill Road and are already very busy at peak times.
 4. The Transport Statement indicates that TRICS, the national trip-rate database, has been used to calculate the number of peak hour trips, but many of the sites chosen to provide the average trip rate per dwelling have a significantly higher number of buses than Lozelles. Because of this the overall trip rate is low (around 0.5 per dwelling). A more representative figure would be one per dwelling during a peak hour. During the AM peak hour this will be 0.7 per dwelling leaving and 0.3 per dwelling entering the site and during the PM peak hour this movement will be reversed. On this basis the development will generate around 16 two-way flows during peak hours.

5. The use of Church Road by HGVs entering and leaving the proposed development will require the whole width of the road at its junction with Cefn Mably. The number of HGV's generated by the site will be significantly higher than those generated by the approved development, which will increase the risk of hazards in Church Road.
6. On the question of on-site parking, it would appear that the developers are not providing the maximum allowed under Cardiff's standards. The proposal shows 30 parking spaces. The maximum under the guidelines would be 37, including visitor spaces, which is reasonable since there is no on-street parking nearby, no evening or Sunday bus service and the distance from the railway station (1 mile) is unlikely to encourage walking. The Cardiff SPG which includes parking takes a number of factors into consideration when considering proposed parking provision. One factor is... '*v. accessibility to and availability of high frequency public transport and public transport facilities*'. The local bus service cannot be described as 'high frequency' so the proposed development should provide the maximum number of parking spaces.

8. **ANALYSIS**

- 8.1 The key issues are: loss of green field site, overdevelopment, out of character with the area, Parking provision and highway safety, impact upon neighbouring properties impact upon the protected trees and protected species.

8.2 **Loss of Greenfield Site**

Planning Policy Wales seeks efficient use of land (para 4.11.5) with preference to the redevelopment of previously development land 'brownfield' land over 'greenfield' (para 4.9.1). Figure 4.4 defines previously development land as:

"land is that which is or was occupied by a permanent structure (excluding agricultural or forestry buildings) and associated fixed surface infrastructure. The curtilage (see note 1 below) of the development is included, as are defence buildings, and land used for mineral extraction and waste disposal (see note 2 below) where provision for restoration has not been made through development management procedures.

Excluded from the definition are:

land and buildings currently in use for agricultural or forestry purposes;

land in built-up areas which has not been developed previously, for example parks, recreation grounds and allotments, even though these areas may contain certain urban features such as paths, pavilions and other buildings;

land where the remains of any structure or activity have blended into the landscape over time so that they can reasonably be considered part of the natural surroundings;

previously developed land the nature conservation value of which could outweigh the re-use of the site; and previously developed land subsequently put to an amenity use.”

The site forms the curtilage of an existing dwelling and whilst green in nature is defined under national policy as previously development and is therefore in principle acceptable for redevelopment subject to meeting other policy objectives outlined below

8.3 **Overdevelopment**

Whilst the site is, in national policy terms, suitable for redevelopment Planning Policy Wales does caveat that in note 1 of Figure 4.4 which states:

“The curtilage is defined as the area of land attached to a building. All of the land within the curtilage of the site will also be defined as previously-developed. However this does not mean that the whole area of the curtilage should therefore be redeveloped. For example, where the footprint of a building only occupies a proportion of a site of which the remainder is open land (such as a hospital) the whole site should not normally be developed to the boundary of the curtilage. The local planning authority should make a judgement about site layout in this context, bearing in mind other planning considerations such as policies for the protection of open space, playing fields or development in the countryside. They should consider such factors as how the site relates to the surrounding area and requirements for on-site open space, buffer strips and landscaped areas.

Further advice within Planning Policy Wales (paras 4.11.6 & 9.3.4) seek good design to not adversely harm the amenities of an area. The Council’s overarching design Policy KP5 seeks, inter alia, a similar approach.

Whilst the principle of development on this site has been established with recent outline applications for a three houses, it is acknowledged that this application proposes a significantly higher density than currently approved, Notwithstanding the above, it is considered that, given the proposed parking, and amenity space provided, and privacy distance between neighbouring properties, the proposal would not be considered an overdevelopment of the site and would allow an acceptable level of amenity for both the future occupiers and neighbours.

8.4 **Out of Character with the Area**

National Planning Policy seeks good design and this is reflected in the Council’s adopted Local Development Plan, where Policy KP5 requires all new development to be of a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces. For major developments (such as this application) further detailed guidance is provided within the approved Residential Design Guide SPG (January, 2017).

The character of the immediate area is formed by predominantly two-storey detached and semi-detached housing with pitched roofs within relatively large plots; however some substantial 2.5 storey housing does exist within the vicinity. The site is within what is considered to be the traditional core of the village where varying building scales, positioning, height and uses create an area of mixed character. Significant protected trees and (unprotected) hedging contribute positively to the visual amenity of the area.

The proposal is for a mixture of two-storey housing and 3-storey flats, set well back from Church Road. Significant revisions have been made to the layout and scale of development since the initial submission. The scale of the apartment block element of the proposal has been reduced significantly, to the extent that the two blocks would now be sufficiently set apart to be considered appropriate to the local context in terms of layout, scale, form, massing and density. The design, detailing and materials are considered to be of sufficiently high quality and consistent with the character of the wider area, taking cues from the larger red brick gabled Edwardian properties fronting key roads within parts of Lisvane.

The proposal would introduce an internal road with parking off it. However, frontage parking is not uncommon in this area and it is considered that on balance would not harm the character of the area. To further reduce its impact, parking would be positioned primarily away from the direct frontages of the buildings, and would be set within high quality hard and soft landscaping.

The proposal would remove the existing hedging along the eastern boundary. However, that hedging could be removed without the need for permission and replaced with a means of enclosure that could be detrimental to the visual amenity of the area.

8.5 Impact upon the Listed Church

The church of St Denys is listed at Grade II* as an important medieval parish church. The tower is dramatically positioned fronting Church Road, increasing the church's prominence and significance within Lisvane. The church has an encircling churchyard that is enclosed by a random rubble stone wall, punctuated by a lych gate and archway marking entrance points. Various protected trees within the churchyard contribute significantly to the setting of the church.

The Conservation Officer states:

"The church is positioned to the south east of the application site, with its northerly 1979 extension being some 40m from the nearest proposed building on the opposite side of the road. The way in which the listed building is experienced from views north on Church Road or views east from within the churchyard is affected by the Black Griffin Inn, the 1970s commercial units opposite the church and the housing to the north. As such, additional partial views to new buildings within the application site would not be considered to materially affect the way in which the building is experienced.

In consideration of the degree of separation between the application site and

the church, together with the scale, massing and siting of the units within the site, it is considered that the proposal would not affect the setting of the listed building.

8.6 **Parking/Highway safety**

The application and the accompanying Transport Assessment have been considered by the Council's Transportation Officer who raises no objections on highway safety grounds, while the proposed parking provision for the scheme is in compliance with the requirements of the SPG (Access, Circulation & Parking). Whilst it is noted that the parking provision is not at the highest point of the upper level of the Council's parking standards advice in national policy (para 8.4 PPW) the proposed level of parking is considered policy compliant. Conditions are required with regards to provision and future retention of parking and cycle parking.

In terms of the proposed pedestrian path around the site frontage, officers are satisfied with the submitted details and that the Council's Highways Section would adopt the pathway in order to secure its future availability for public use. A further condition is required relating to the submission of full engineering details of the new access (es) and the frontage footway to the Council for approval prior to the commencement of the development, with the approved works to be implemented prior to beneficial occupation. A Construction Management Plan condition is also required, together with a condition stipulating that the new access off Church Road shall be a minimum of 5.5 metres in width. The applicant is also advised that the frontage footway works will be subject to an agreement under Sections 278 and 38 of the Highways Act 1980 and will require the developer to liaise with the Council's Operation Manager, Street Operations in this respect.

The Operational Manager (Transport) advises that the proposed access points are acceptable and would allow adequate visibility to a range of vehicles, including larger lorries/refuse vehicles. In terms of the associated trips from the development, officers note the concerns of residents regarding the use of Church Road as a 'rat run', and also the occasional on-street parking associated with services at the church. However, these are existing problems that would not be exacerbated to an unacceptable extent by the proposed development; which would on average generate 8 two way trips during peak times. This equates to approximately one additional trip on the road every 8 minutes, which is not considered sufficient to warrant a refusal of this scheme, especially in the context of the benefits that the proposed frontage footway would bring. Whilst residents dispute these findings, the methodology used (TRICS database) is a nationally recognised model, and is therefore reasonable for use as an indication of the impact the proposal may have. It is also noted that the calculations have not been modified to take into account the reduced number of units.

The scheme includes the creation of a pedestrian footway linking the 'village centre' of Lisvane to those areas to the north and would allow both new and existing residents to access these facilities safely by foot; thereby encouraging

this mode of travel rather than by car in line with Council policy. It would also significantly improve the existing visibility at the Church Road/Heol y Delyn junction. These are seen as major positive attributes of the scheme which, on balance, is considered to provide an overall net benefit to highway safety.

8.8 Impact upon Neighbouring Properties

Both National Planning Policy and the Council's design policies and SPGs seek development not to adversely harm the amenity and privacy of neighbouring

To the west are the existing houses. "Helfa" is the closest property and has been extended by a two storey side extension and benefits from an out building. It is considered that given this context the proposed scheme would not result in the loss of amenity or result in an un-neighbourly form of development upon this property. Further along the western boundary are the semi-detached houses of Plas-y-Delyn, these properties are sited lower than the site but benefit from long gardens (approximately 30 metre from the back of the house to the rear boundary). The 3 storey flats would be sited approximately 10.5 metres away from this boundary with some element of screening. It is considered that this separation and proposed layout will ensure that the proposal will not result in a loss of amenity or privacy

8.7 Impact upon the Protected Trees/Landscaping

Along the eastern (Church Road) boundary are two protected Copper Beech Trees, which are according to the Arboricultural Method Statement, are in good health. These trees will be retained within the scheme. To ensure that trees are not affected by the proposed pathway (that would be sited within the route protection area) a condition has been imposed for this section of the pathway to be of a 'no-dig' construction. It is also considered that the proposal as a whole would not undermine these protected trees.

A number of the trees and hedging along the Church Road Boundary are to be retained, as this will ensure that bats within the area have suitable resting areas.

In terms of the overall landscaping strategy it is considered that the proposal would retain those elements of the existing elements that are considered important. It will also remove a number of trees/hedges the western/southern boundaries, this will allow the amenity space to become useable and will allow sufficient growth for the remaining trees/hedge row.

8.9 Protected Species

The application has been accompanied by an Ecology Assessment, which indicate the presence of bats within the grounds and the roof of the existing house. Bats are a European Protected Species under Conservation of Habitats and Species Regulations 2010 (as amended). Cardiff Council has a duty to have regard to the requirements of the Habitats Directive so far as they may be affected by the exercise of its functions. The requirements in this

case being the strict protection afforded to bats. The advice of both the Council's Ecologist and Natural Resources Wales is that a bat license will be required. In line with guidance a condition has been imposed that no development shall take place until the license has been issued with a further condition imposed to comply with the requirements of the recommendations of the Ecology Assessment which will ensure that the bats are not affected by the proposal.

Dormice

Although dormice have been recorded in close proximity to the site, officers would not say that there is sufficient ecological connectivity to those records, nor that the habitats on site are particularly suitable for this species. Therefore, in line with the submitted Ecology Assessment, there is limited potential for dormice to be present, so while a survey for this species is not needed, officers support the proposed mitigation measures set out in section 8 of the report.

Nesting Birds

Nesting birds are likely to be affected by any removal of trees, shrubs, bushes etc., as well as be demolition of buildings, including outbuildings. However, it is not considered that a nesting bird survey is required and that the conditions set out in section 8 of the Ecology Assessment are sufficient.

8.10 Other matters not assessed above

The planning system regulates in the public interest. The planning system does not exist to protect the private interests of one person against the activities of another (para 3.1.4 PPW), therefore matters of loss of land value are not a material consideration.

9. Planning obligations

National Policy and CIL regulations outline the legal requirements for a valid Planning obligation. The Council's approved Planning Obligations SPG provides further guidance. The following financial contributions are required:

£232,290 towards affordable housing provision
£23,137 for public open space in lieu of on-site requirements;
£1,760.00 for waste management.

Having regard to policy and legal requirements outlined above it is considered that the requests meet the necessary tests and policy requirements. The agent has confirmed that his client is willing to enter into an agreement to secure these contributions

10. Conclusion

The proposal is a brownfield site and is located within close proximity to local amenities. The proposed scale, massing and design is considered to meet

national and local policy objectives and have regard to the character of the area. For the reasons outlined above, planning permission is recommended for approval subject to conditions.

11. **Legal considerations**

11.1 ***Crime and Disorder Act 1998***

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

11.2 ***Equality Act 2010***

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. Having due regard to advancing equality involves:

removing or minimising disadvantages suffered by people due to their protected characteristics; taking steps to meet the needs of people from protected groups where these differ from the need of other people; and encouraging people from protected groups to participate in public life or in other activities where their participation is disproportionately low.

The above duty has been given due consideration in the determination of this application.

It is considered that there would be no significant or unacceptable impact upon persons who share a protected characteristic, over and above any other person, as a result of the proposed decision.

11.3 ***Planning (Wales) Act 2015 (Welsh language)***

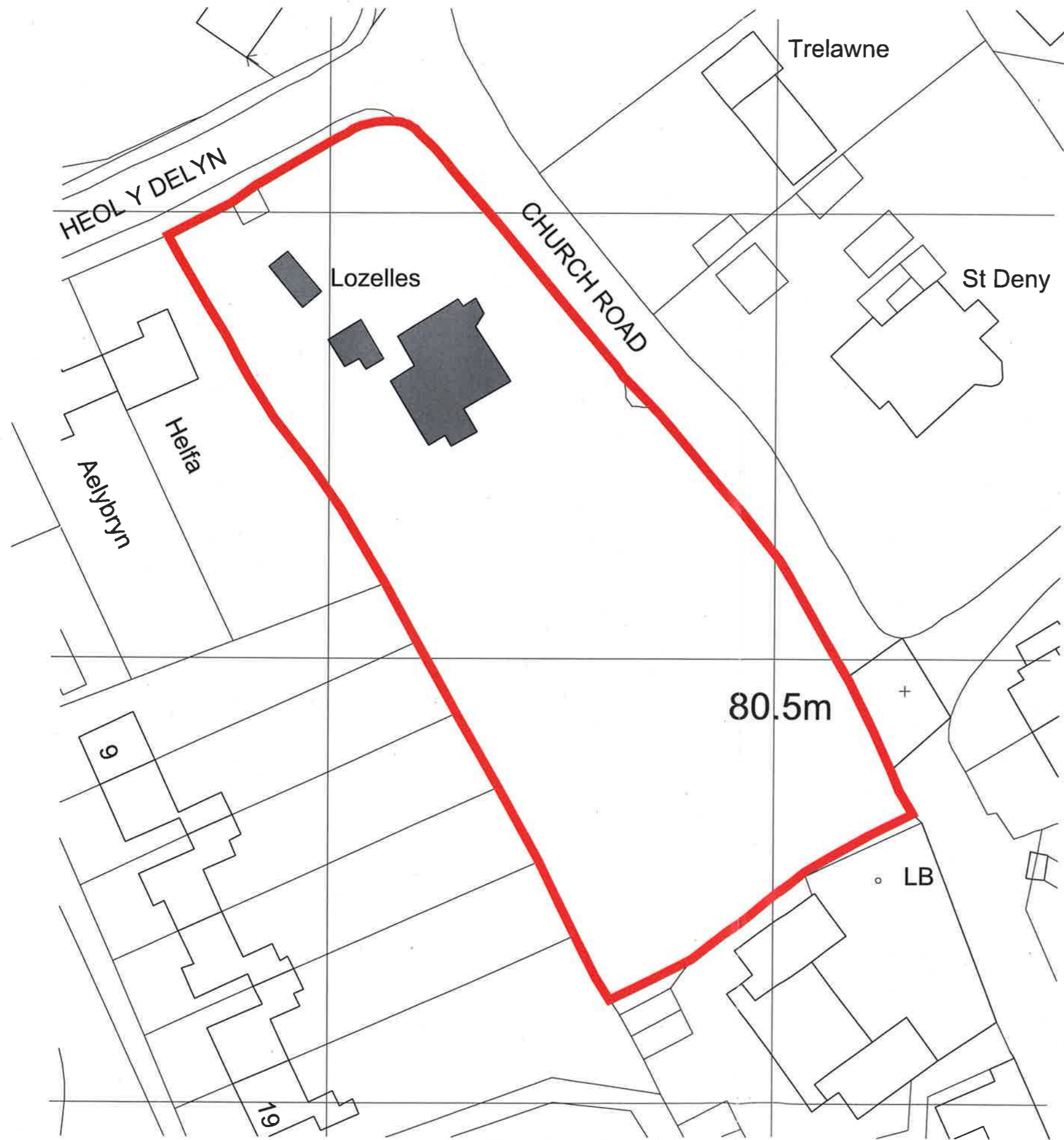
Section 31 of the Act clarifies that impacts on the Welsh language may be a consideration when taking decisions on applications for planning permission so far as it is material to the application. This duty has been given due consideration in the determination of this application. It is considered that there would be no material effect upon the use of the Welsh language in Cardiff as a result of the proposed decision.

11.4 ***Wellbeing of Future Generations (Wales) Act 2015***

Section 3 of the Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the proposed decision.

11.5 **Biodiversity and Resilience of Ecosystems Duty**

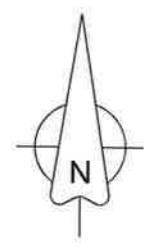
These comments contribute to this Authority's discharge of its duties under Section 6 of the Environment (Wales) Act 2016. This duty is that we must seek to maintain and enhance biodiversity in the exercise of our functions, and in so doing promote the resilience of ecosystems, so far as is consistent with the proper exercise of those functions. In complying with this duty we will have to take account of the resilience of ecosystems, in particular the diversity between and within ecosystems; the connections between and within ecosystems; the scale of ecosystems; the condition of ecosystems and the adaptability of ecosystems.



LOCATION PLAN
1:500



LOCATION PLAN
1:1250

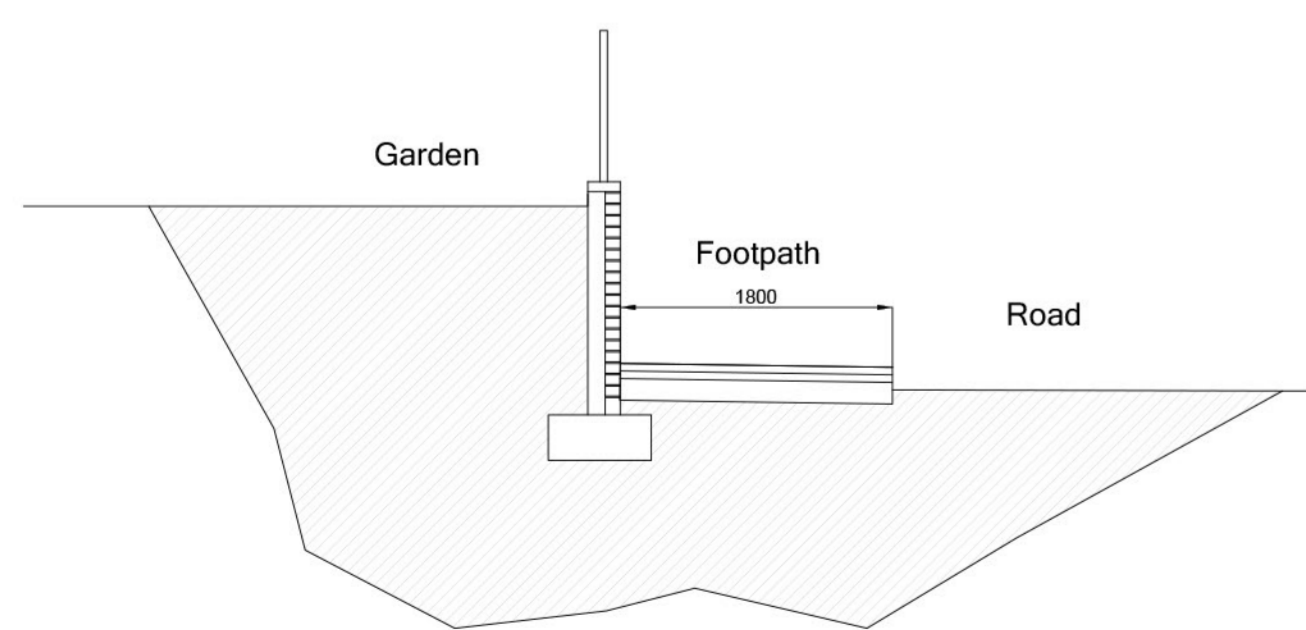


16/02752 MJR

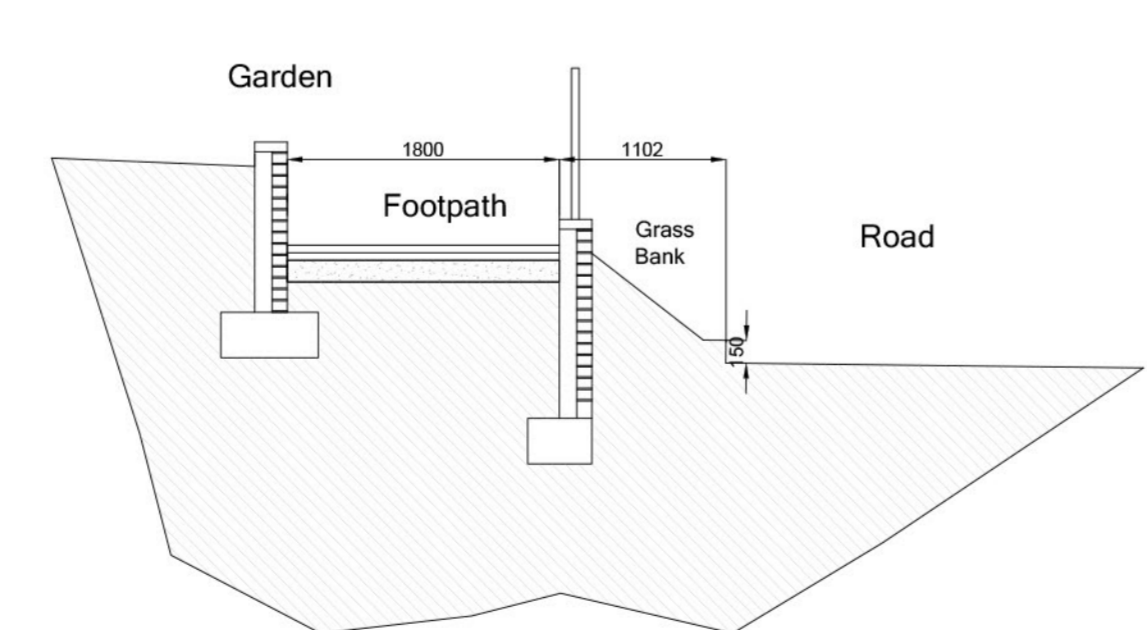
Residential Development Lozelles Site, Lisvane		Job No. 16_047
		Dwg No. Rev. AL(00)10
Title Location Plan		
Date 05/10/16	Drawn kp	Scale 1:500/1250 A3
		Town planners Environmental & Urban design
<small>Unit 1A, Compass Housing Park, Pacfic Road, Cortholme, CF24 9HU</small>		<small>www.g2cp.co.uk 019 20452150</small>

Materials	
	Permeable Block Paving
	Tegula Permeable Block Paving

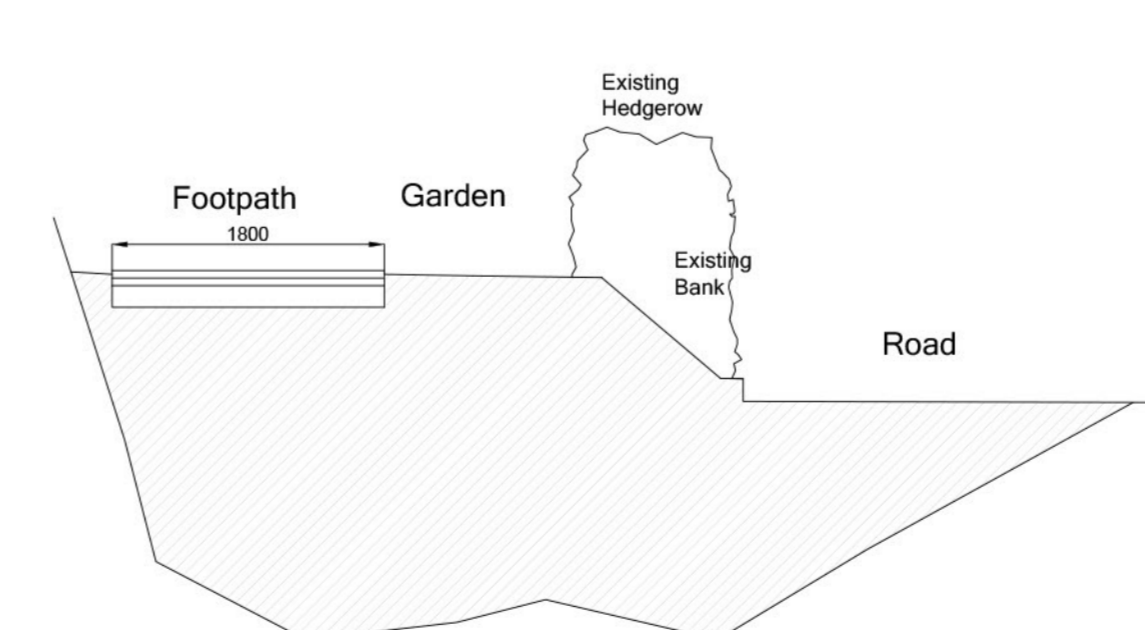
Date	Drawn	Check	Description	Rev.
02/12/16	***	***	Scales Revised	A
20/12/16	***	***	Entrance gates omitted	B
16/01/16	***	***	Main buildings moved to create more open space, buildings reduced in height pavement to entrance altered and access road widened to accord with highway comments	C
16/02/17	***	***	Refuse vehicle size confirmed, entrance crossing adjusted, car park spaces omitted under tree canopy, public footpath gradients confirmed, access to bin stores increased	D
15/03/17	***	***	Pedestrian foot path moved away from highway and Grass verge added	E
21/03/17	***	***	Block A changed to 2 separate blocks of apartments, Grass crete added to car park spaces	F
14/04/17	***	***	Redline boundary to shopping precinct adjusted to accord with land title boundary	G
06/06/17	***	***	Apartment block omitted in line with planners comments	I
			Boundary distances added	



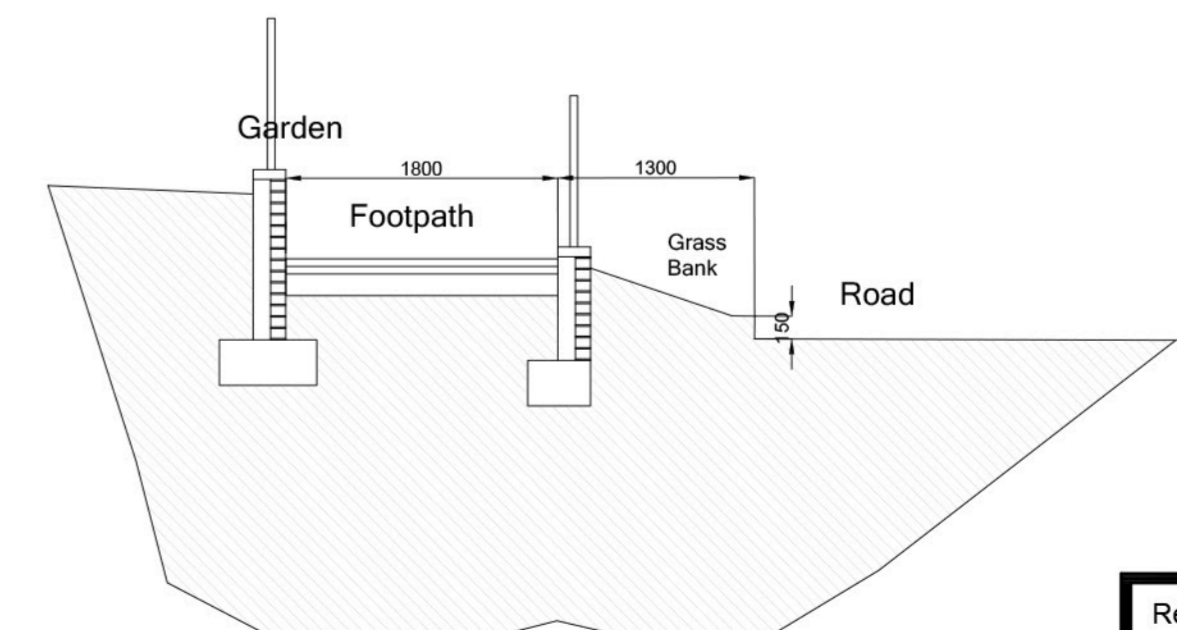
Section A - A



Section B - B



Section C - C



Section D - D

Foot Path Cross Sections

Residential Development Lozelles Site, Lisvane		Job No: 16_047	Rev. H
Title Proposed Site Plan		Dwg No: AL(90)01	
Date BK	Scale 1:250@A1 & 500@A3		

CJ Architects · Town planners
Environmental & Urban design

Unit 1A, Compass Business Park,
Pacific Road, Cardiff, CF24 5HL. www.cjarchitects.co.uk
tel: 071 20452101

Proposed Landscape Specification

1.0 WORKMANSHIP – GENERAL
All work must be to the satisfaction of the supervising Landscape Architect.

1.1 SITE CLEARANCE
Where the site has not been wholly cleared, the Contractor shall cut, rake up and remove from site all vegetation excepting those existing plants to be retained as shown on the drawings. Roots shall be grubbed up. All rubbish and hardcore shall be removed from site to tip at the Contractors expense. Reference should be made to the Tree Protection Plan.

1.2 HORTICULTURAL SOIL RESOURCE REPORT
This soft landscaping scheme should be read in conjunction with the Horticultural Soil Resource Report prepared in accordance with the 2009 DEFRA Construction Code of Practice for the Sustainable Use of Soils on Construction Sites. Refer to the report for details on available soil resource, soil analysis, soil suitability, and soil storage, placement and pre-planting.

1.3 EARTH FILL AND GRADING
When this is to form part of the works, the Contractor must firstly strip all site topsoil from the area to be filled or graded, making sure that all the existing vegetation and stones over 50mm have been removed and carted off site. Store the topsoil in uncompacted heaps not over 1.25m in height, taking care that it is not mixed with subsoil or deleterious material.

1.4 SUBSOILING AND TOPSOILING
All Topsoil to conform to BS3882:2015, all subsoil to conform to BS 8601:2013.

Soil profiles for areas of new planting:
- Grass: 150mm depth topsoil over 150mm depth subsoil
- Shrubs: 300mm depth topsoil over 300mm depth subsoil
- Trees: 300mm depth topsoil over 600mm depth subsoil

Any levels to be made up beneath topsoil depths shall be made up by using sub-soil fill. Topsoil and sub-soil shall each be deposited in separate spoil heaps and strict precautions are essential to prevent loss or admixture of topsoil with sub-soil. The Contractor is to take all due care in the course of the earth moving work, to ensure that all deposited material is evenly consolidated and especially that any lumps of soil are completely broken up in the course of the grading work. A suitable period is, if possible, to be permitted to elapse subsequent to soil being placed to allow for major settlement prior to finishing, grading, grassing and planting.

1.5 TREE SUPPLY, HANDLING AND PLANTING
Shall be accordance with BS8545:2014 (*Trees: from nursery to independence in the landscape - recommendations*). See Tree Pit Section for planting. All tree planting, including containerised stock, shall be carried out between November and March but not during periods of frost, drought or cold drying winds. At the time of planting and at such times as directed, all plants shall be thoroughly watered. Staking only required for standards.

1.6 PROTECTION OF SUPPLIED PLANTS
Plants shall be protected from root exposure and desiccation at all times, bare roots shall be heeled in properly and protected during the planting operation. Containerised plants shall be adequately watered whilst awaiting planting. Seeds shall be protected from harmful temperature/moisture fluctuations and vermin.

1.7 SHRUB CULTIVATION, PREPARATION AND PLANTING.
All shrub planting, including containerised stock, shall be carried out between November and March but not during periods of frost, drought or cold drying winds. At the time of planting and at such times as directed, all plants shall be thoroughly watered. Container grown plants should be thoroughly soaked prior to removing the container. Unsuitable plants and materials, rejected by the Landscape Architect, shall be cleared from site and replaced with satisfactory goods at the Contractors expense. The whole of the areas to be shrub planted, as shown on the drawings, are to be thoroughly cultivated to a fine tilth by hand or machine, where appropriate and broken up to not less than 300mm deep and thoroughly cleared of all extraneous matter. The Contractor is to allow for the removal from Site of all rubbish, stones and weed growth. Fill depressions in ground surface with topsoil and lightly compact in 150mm layers until surface is level with surface of surrounding ground. Prior to planting, fork in a 50mm layer of composted bark, composted garden waste or mushroom compost. Bring the soil to an even tilth and necessary firmness.

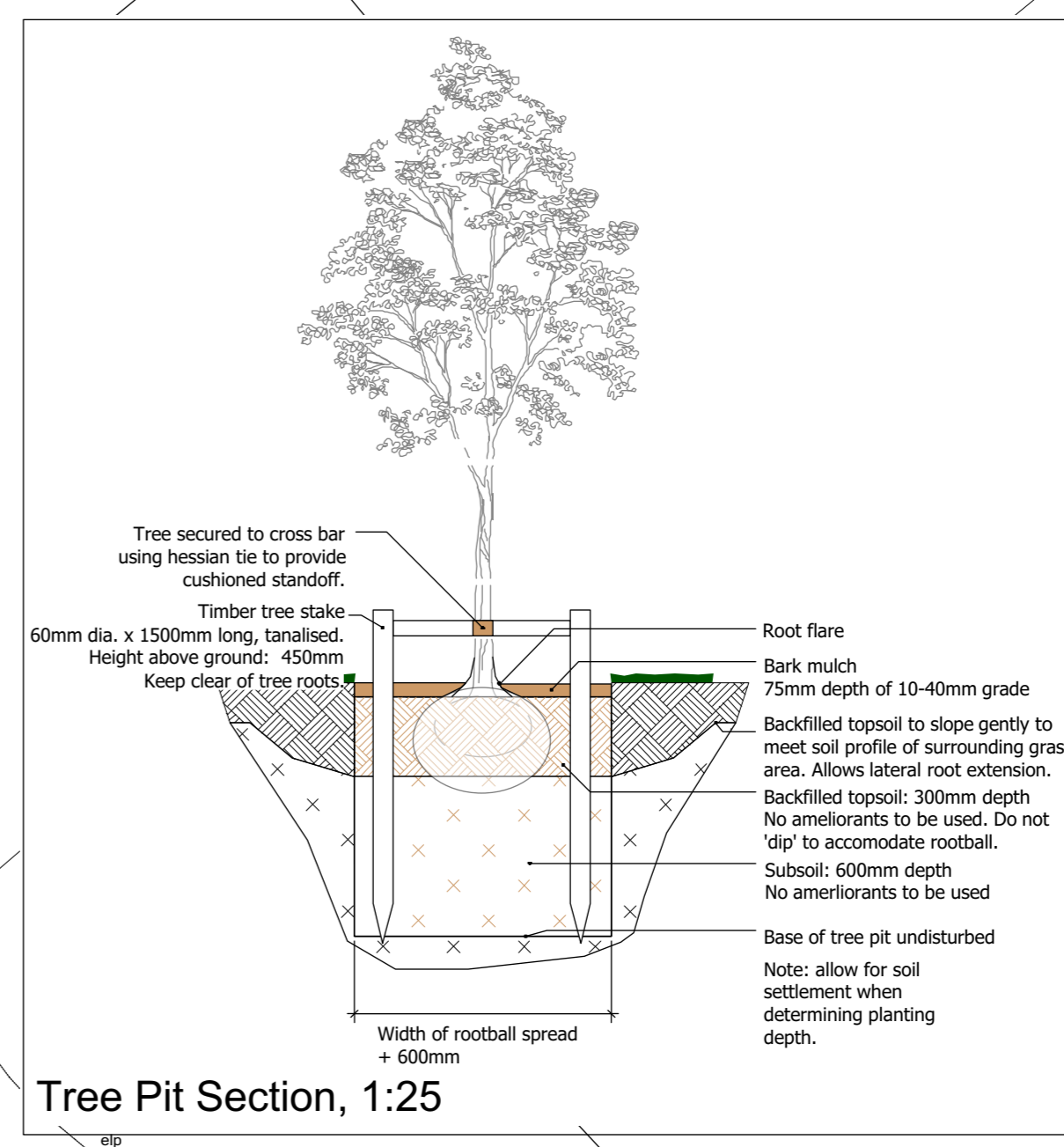
1.8 SHRUB PLANTING
Beech hedging to be notch planted, care taken to avoid damage to existing roots. All other shrub planting: dig holes to adequate size and depth to take rootball or root system. Make sure that the root system is not damaged in any way and that the plant is at the same depth as it was at the nursery. Backfill is to be well worked in around the roots and properly firmed in. Containerised plants shall be thoroughly soaked before removal from containers and planting. Individual planting positions, shown on the drawing, shall be prepared to the same standards as borders. Allow a pit not less than 450mm diameter increased as necessary to accommodate spread out root systems or rootballs so that the pit diameter exceeds the root spread by 300mm overall or 600mm for trees.

1.9 BARK MULCH After planting spread bark mulch to a depth of 75mm over all planted areas. Mulch shall be graded softwood bark flakes. Nominal particle size – as measured using BS sieving techniques – shall be 10-40mm with no more than 15% below 10mm. Material consisting largely of long thin particles will not be accepted. The bark shall have been removed from the parent timber and matured for a minimum of four months prior to application as mulch. Combined timber/sawdust/shaving content shall be no more than 5%. The pH shall be between 4 and 7. Available manganese content shall be no greater than 35 PPM. It shall be free flowing, pest, disease and weed free. The Contractor shall supply a small representative quantity to the Landscape Architect for approval. All mulch used must be of equal quality as the approved sample. The Contractor shall keep the initial load for comparison. The quality must be maintained throughout and any delivery below the standard of the approved sample will be rejected and must be carried away at the Contractors expense, as must any surplus mulch. When completed ensure that the mulch is not spread over paving or other hard surfaces.

1.10 LAWN SEEDING/TURFING The Contractor shall carry out seeding/turfing and maintenance of seeded areas in accordance with the seed/turf supplier's guidance. Areas for seeding/turfing should be on firmed but not compacted topsoil of minimum 150mm depth that has been broken up to full depth (except within in Root Protection Areas). The surface should be reduced to a fine tilth and areas to be seeded/turfed should be free of weeds. Surface stones exceeding 10mm should be removed prior to seeding/turfing.

1.11 ADDITIONAL NOTES
Formative pruning of young trees to accord with BS3998:2010 (*Tree works - Recommendations*). Tree ties and stakes: Ties and staking to be inspected quarterly and adjusted as required to avoid damage to tree. Ties and stakes to be completely removed after 12 months. Mulched areas: inspect and top-up mulch areas annually, as per 1.9. Watering during 2 years establishment period: as required to ensure thriving, notably during dry spells and in summer. Hedging: trim annually to batter during autumn and outside of breeding bird season (i.e outside February to August). Remove arisings.

N.B. No peat to used in the preparation or planting.



Plant Schedule		
Ornamental Shrub Mix		
Qty	Name	Size
81	Chaenomeles speciosa 'Geisha Girl'	3L
81	Pieris japonica 'Purity'	3L
81	Potentilla fruticosa 'Abbotswood'	3L
81	Spiraea x cinerea 'Grefsheim'	3L
Native Hedge Mix		
Qty	Name	Size
109	Corylus avellana	60-80cm, 1+1 transplant, bare root
158	Crataegus monogyna	60-80cm, 1+1 transplant, bare root
30	Ilex aquifolium	3L
14	Rosa canina	60-80cm, 1+1 transplant, bare root
Portuguese Laurel Hedge		
Qty	Name	Size
176	Prunus lusitana	3L
Trees		
Qty	Name	Size
1	Acer buergerianum	Selected Standard
1	Acer pensylvanicum	Selected Standard
1	Cercidiphyllum japonicum	Selected Standard
1	Cotoneaster 'Cornubia'	Selected Standard
2	Metasequoia glyptostroboides 'Sheridan Spire'	300cm, C 30L
4	Robinia x slavonii 'Hillieri'	Selected Standard
Beech hedge		
Qty	Name	Size
297	Fagus sylvatica	60-80cm, 1+1 transplant, bare root

notes:

- All dimensions to be checked and confirmed onsite prior to any works.
- Do not scale off this drawing.
- Any errors, omissions or discrepancies are to be brought to the attention of Lingard Styles immediately.

key:

- Retained Trees
- Proposed Trees
- Native Hedge
- Ornamental Shrub Mix
- Groundcover planting where required
- Turf / Seeded Lawn where required
- Block Paving
- Fence
1.8m closeboard fence, timber posts in post spikes.



rev:	date:	description:
-	21/09/16	first issue
A	26/01/17	site layout updated, planning comments
B	03/02/17	NRW comments
C	10/05/17	Layout updated

tel: 0333 4561132 fax: 01743 243602
email: info@lingardstyles.co.uk
9 College Hill, Shrewsbury Shropshire, SY1 1LZ
The Studio, Farm Lodge, Leighton, Welshpool, Powys. SY21 8HJ

client / project:
**Proposed Development
Lozelles Site, Lisvane
Cardiff**

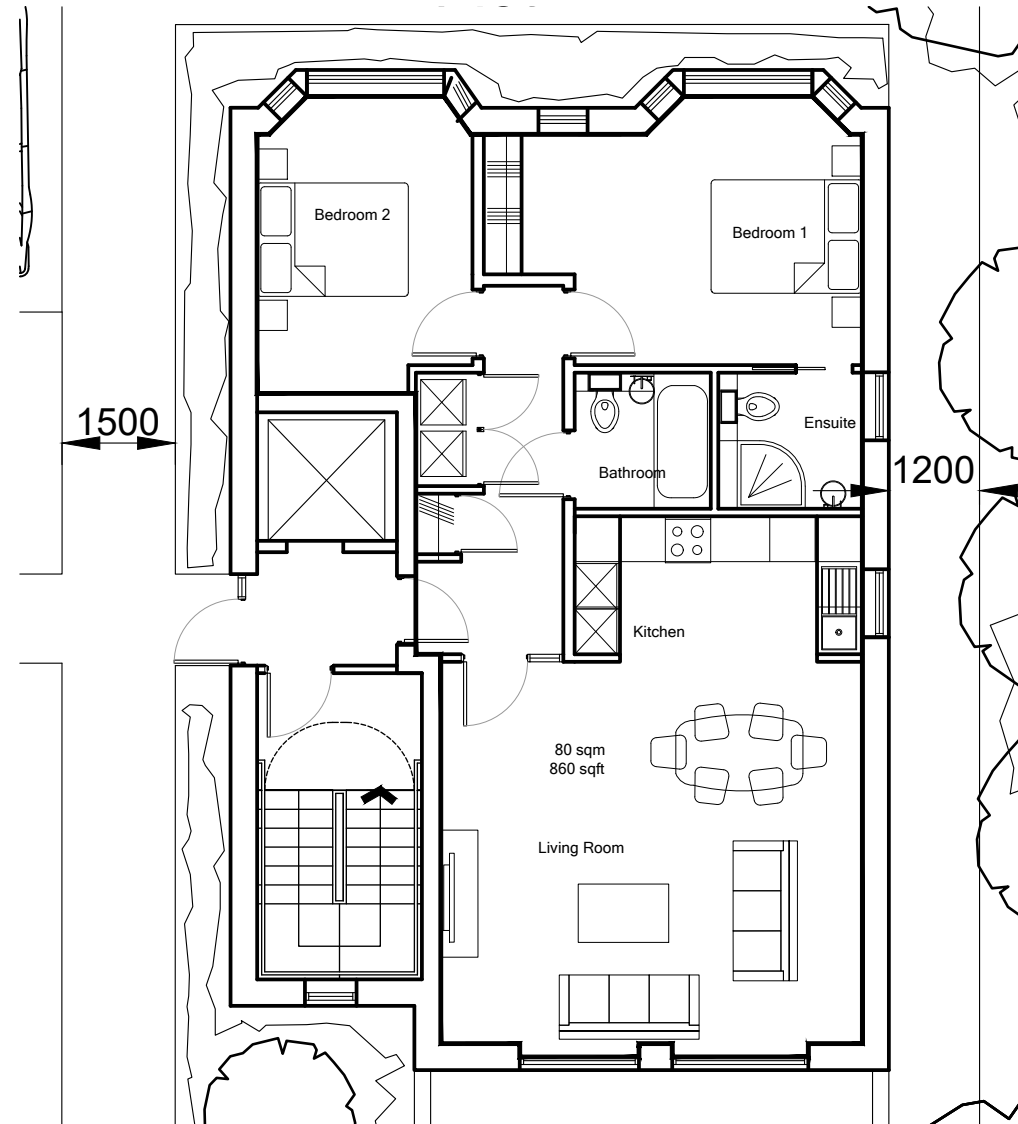
title:
Landscape Plan

dwg. no:	scale:	drawn:	chkd by:
2907-002 rev C	1:200@ A1	TM	PS

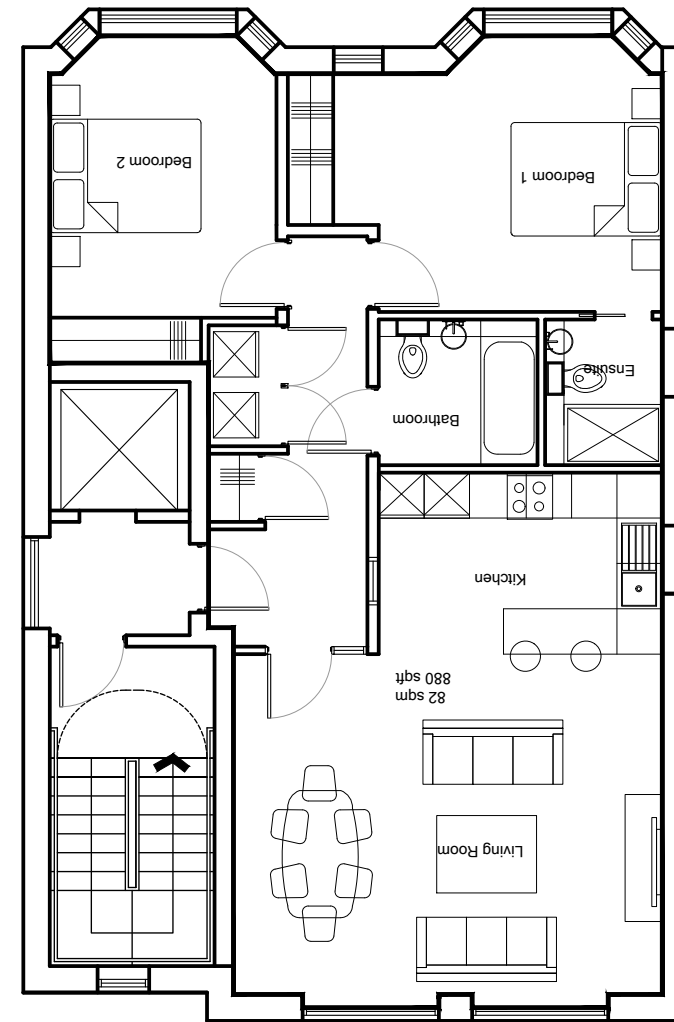
DO NOT SCALE FROM DRAWING. © DRAWING IS COPYRIGHT

Date	Drawn	Check	Description
14/02/16	***	***	Elevations and roofs adjusted to create building separation
26/04/16	***	***	New stand alone apartment created

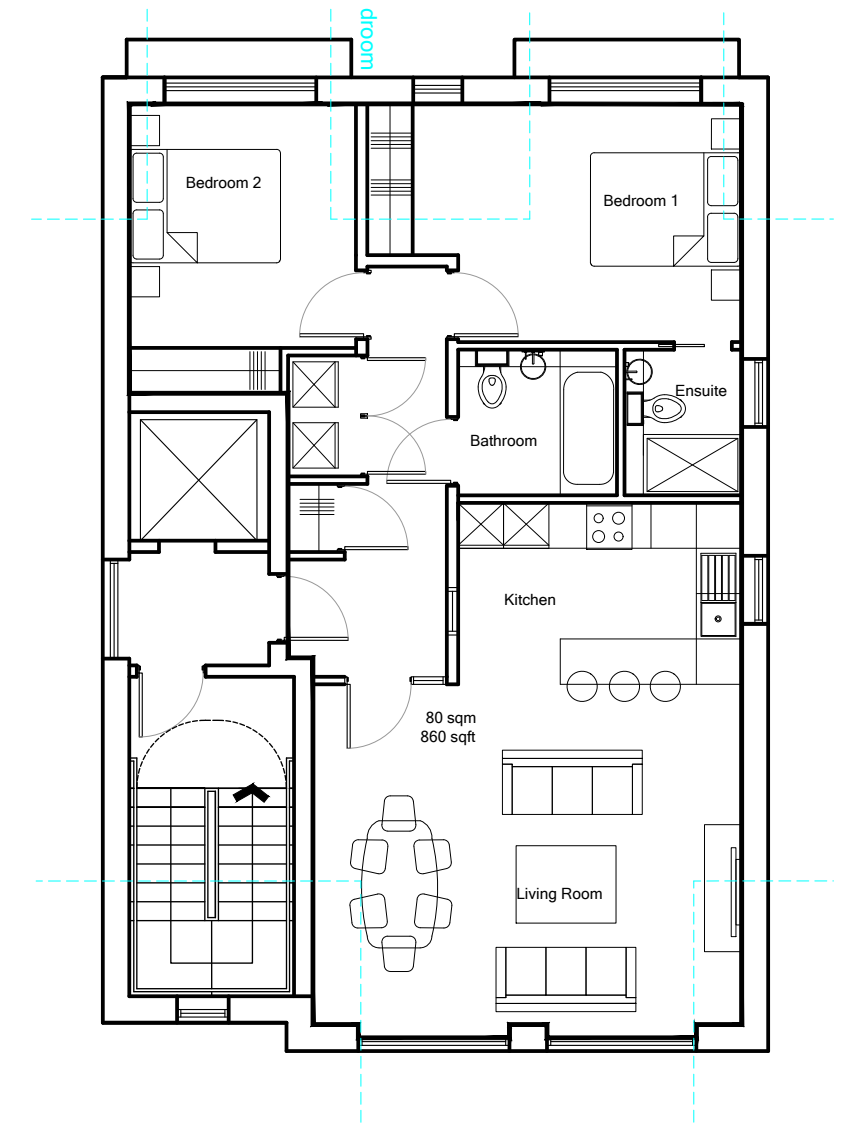
Rev.
A
B



Plot A - Ground Floor Plan

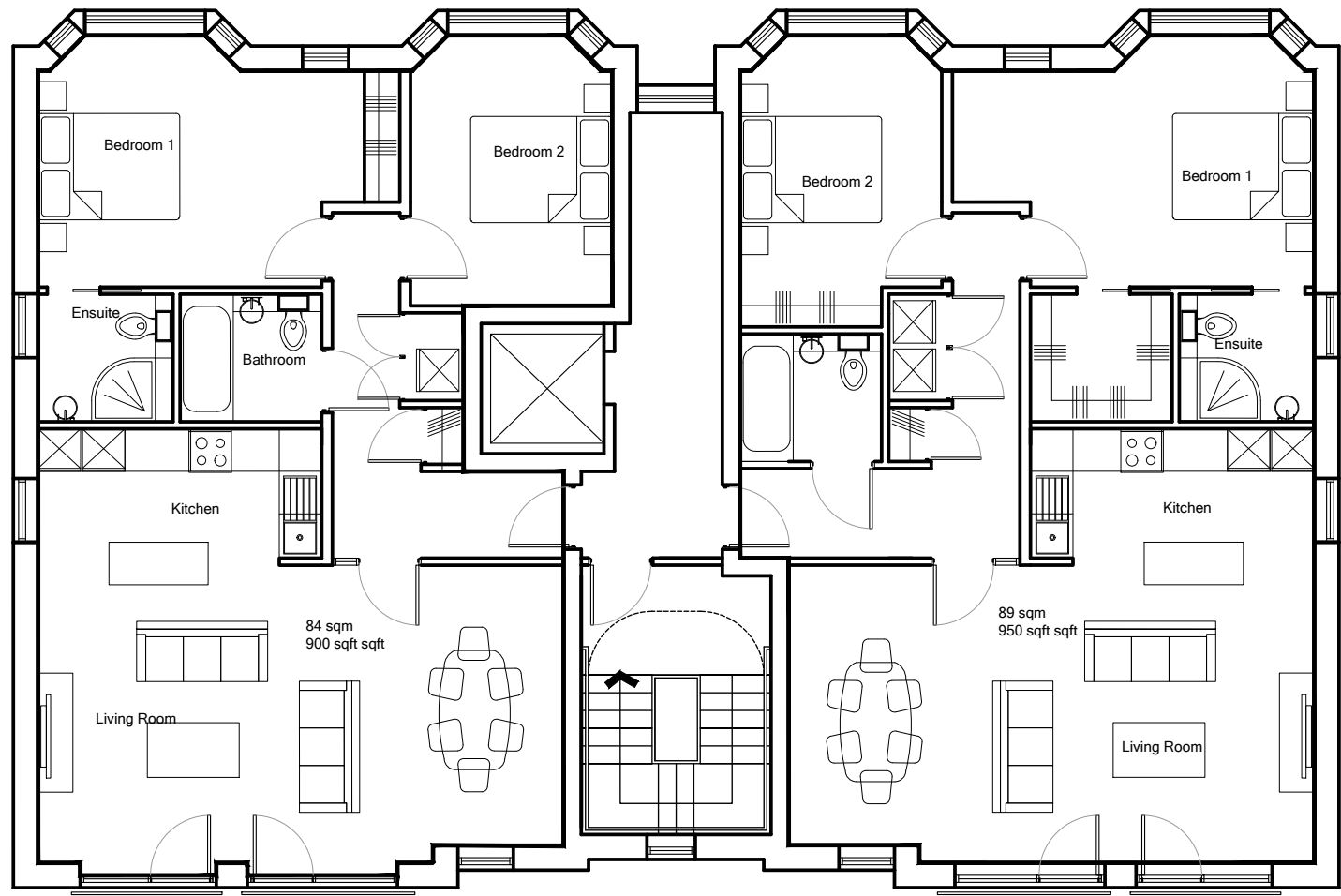


Plot A - 1st Floor Plan

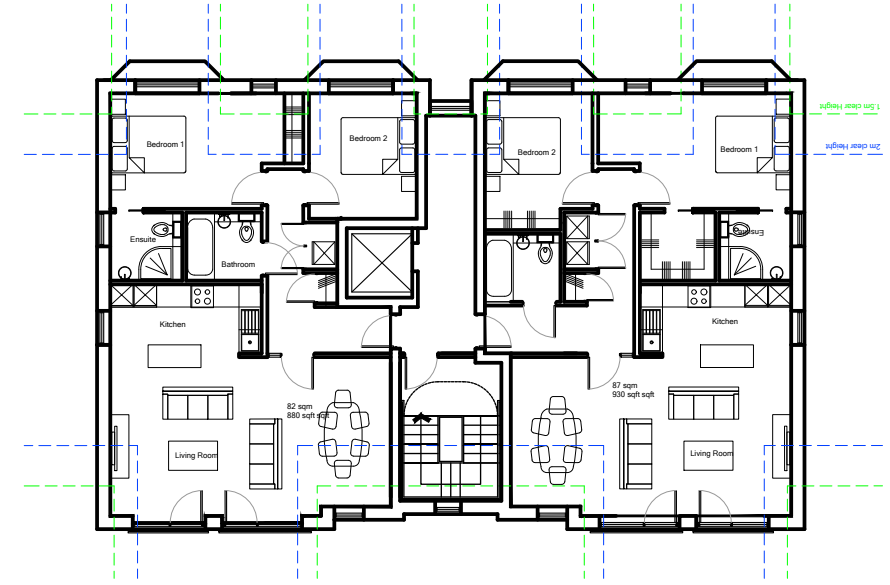


Plot A - 2nd Floor Plan

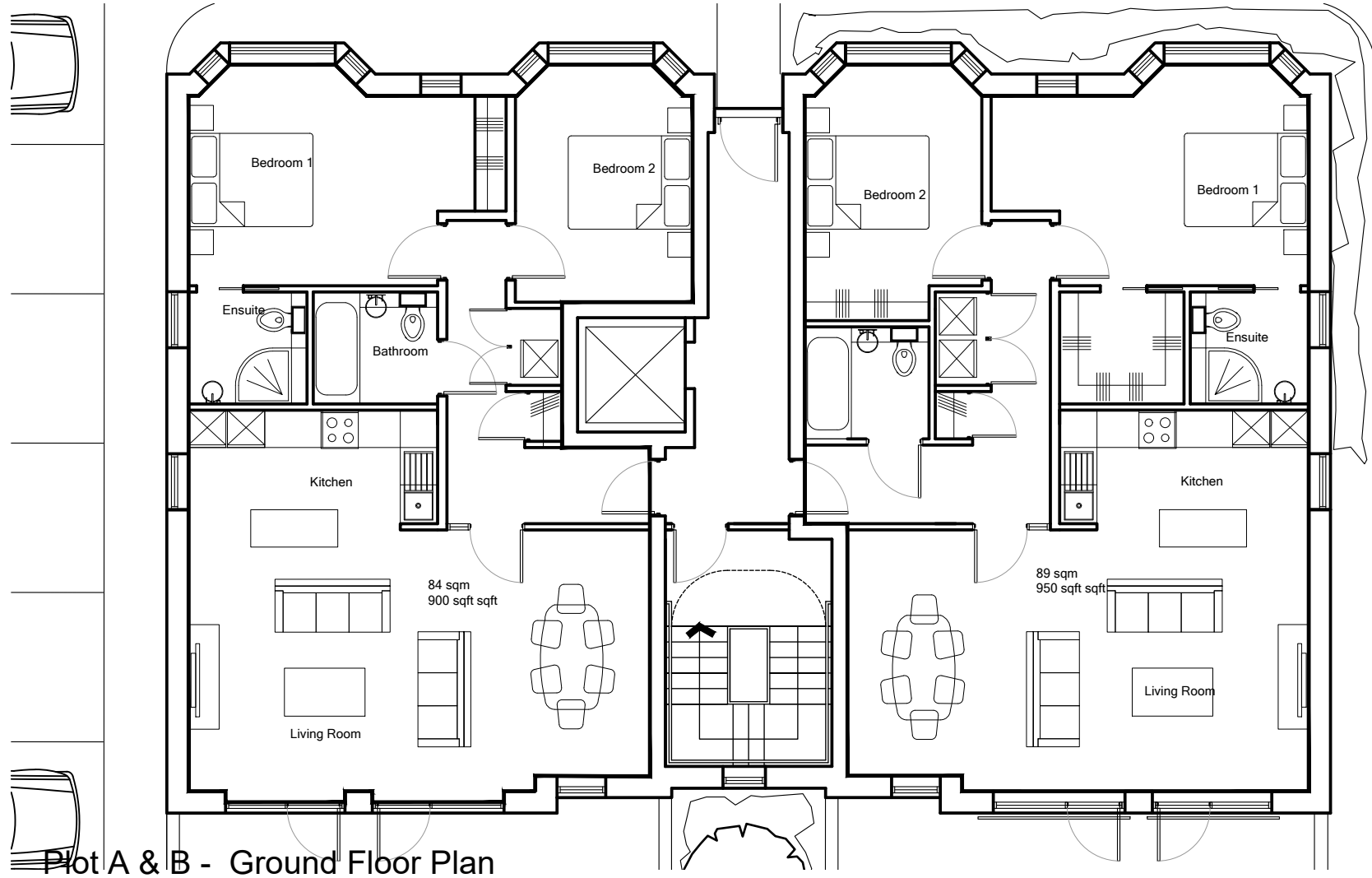
Residential Development Lozelles Site, Lisvane	Job No: 16_047	Rev. B
Title Plot A Proposed Floor Plans		
Date	Drawn BK	Scale 1:100 & 200 @A3
		
<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 6HL</small>		



Plot A & B - 1st Floor Plan



Plot A & B - 2nd Floor Plan



Plot A & B - Ground Floor Plan

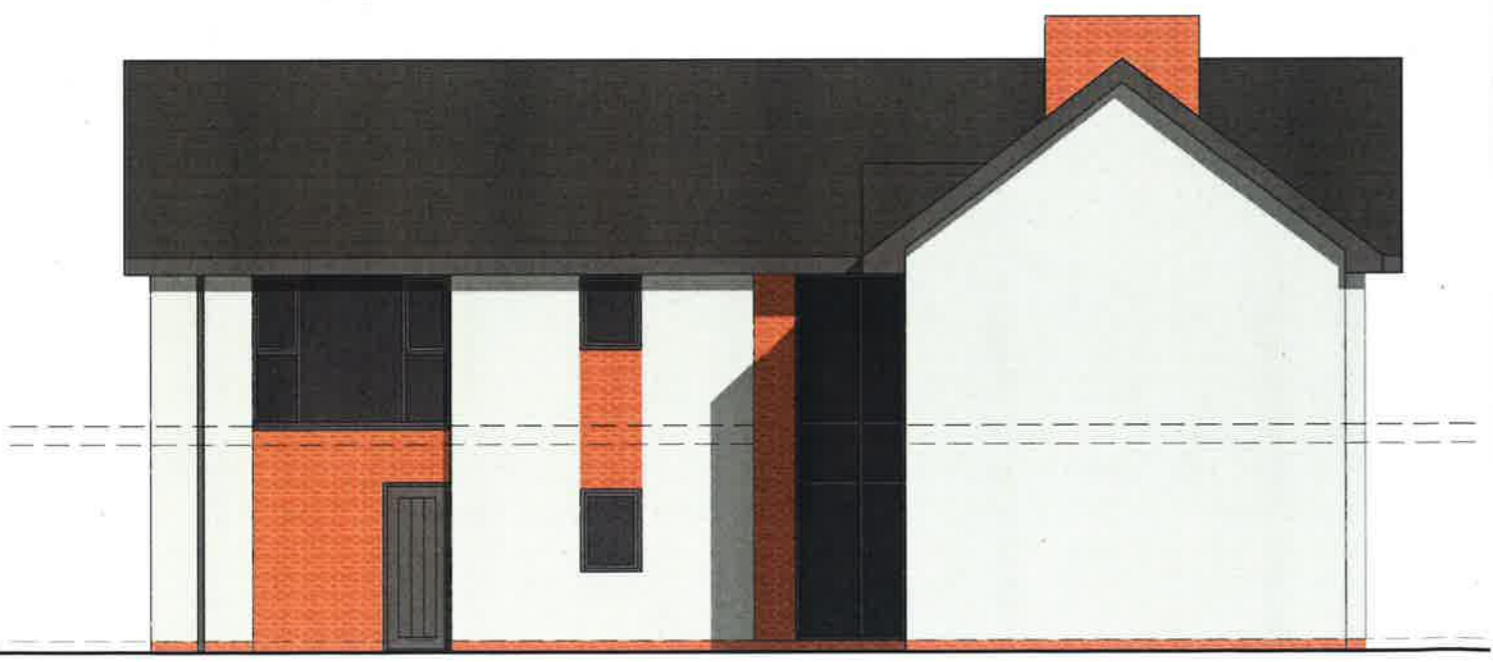
Residential Development Lozelles Site, Lisvane		Job No: 16_047	Rev.
Title Plot B Proposed Floor Plans		Prog No: AL(00)02	
Date	Drawn	Scale	
	BK	1:100 & 200 @A3	
 Architects · Town planners Environmental & Urban design		www.cjarchitects.co.uk Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 6HL Tel: 029 20452100	



Plot D - Front Elevation



Plot D - Side Elevation



Plot D - Rear Elevation



Plot D - Side Elevation

16/02752 MJK

Residential Development Lozelles Site, Lisvane	Job No 16_047	Rev.
Plot D Proposed Elevations	Dwg No AL(00)12	
Date 16/04/12	Drawn BK	Scale 1:50 @A1, 1:100@A3
		



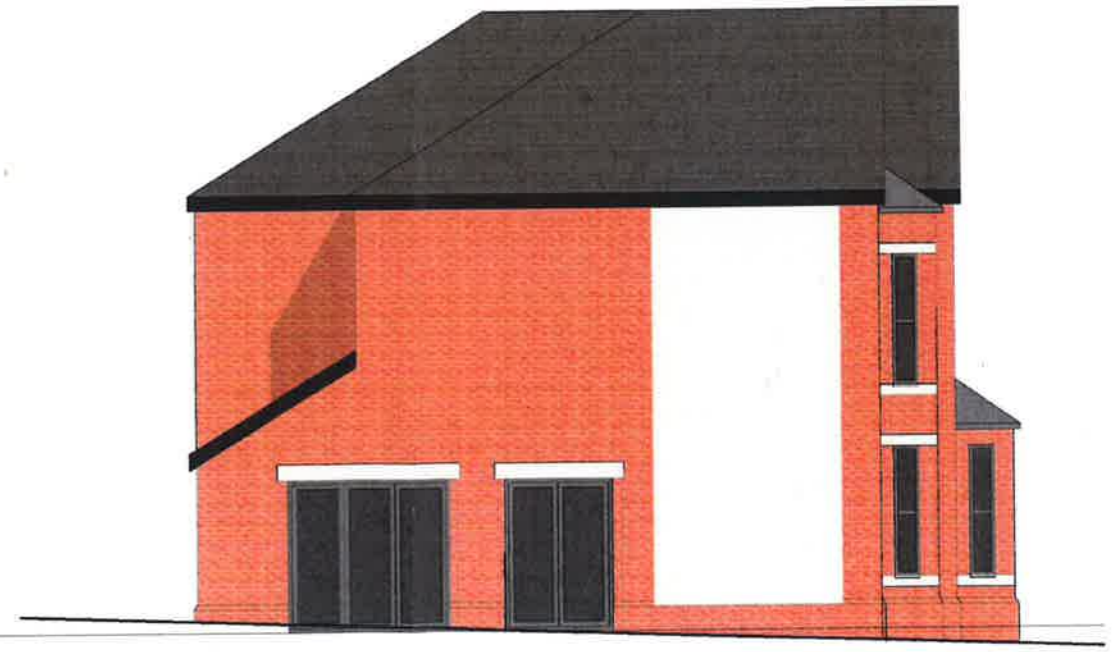
Plot C - Front Elevation



Plot C - Side Elevation



Plot C - Rear Elevation



Plot C - Side Elevation

Residential Development Lozelles Site, Livane	Job No. 16_047
	Drawn By AL(00)11
Title Plot C Proposed Elevations	
Date 1/5/11	Scale 1:50 @A1, 1:100 @A3
	
<small>1000 W. Canyon Boulevard, Suite 100, Portland, Oregon 97201-3442 www.cjarchitects.com 503.241.1111</small>	

COMMITTEE DATE: 12/07/2017

APPLICATION No. **16/01107/MJR** APPLICATION DATE: 26/05/2016

ED: **CANTON**

APP: TYPE: Full Planning Permission

APPLICANT: Lower West Side Limited

LOCATION: DUKE OF CLARENCE HOTEL, 48 CLIVE ROAD,
CANTON, CARDIFF, CF5 1HJ

PROPOSAL: ERECTION OF 17 NEW BUILD FLATS WITH PRIVATE
PARKING AT CLIVE ROAD, CANTON

RECOMMENDATION 1: That, subject to relevant parties entering into a binding planning obligation, in agreement with the Council, or otherwise under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 8.6 of this report, planning permission be **GRANTED** subject to the following conditions:

1. The development permitted shall be begun before the expiration of three years from the date of this planning permission.
Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990.

2. This consent relates to the following plans and documents:

Plans

G1353-P00 rev. A; P100; P101; P01 rev. E; P02 rev. H; P03 rev. E; P04 rev. E; P05 rev. E; P06 rev. J; P07 rev. G; P08; P09 rev. E; P10 rev. A; P11 rev. A; P12 rev. A; P13 rev. A; P14 rev. A; P15 rev. A.

Documents

CWA Design and Access Statement ref: G1353

Reason. For the avoidance of doubt.

3. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and

submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

4. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan

5. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.
Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

6. No development shall commence until a drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall provide for the disposal of foul, surface and land water, and include an assessment of the potential to dispose of surface and land water by sustainable means. Thereafter the scheme shall be implemented in accordance with the approved details prior to the occupation of the development and no further foul water, surface water and land drainage shall be allowed to connect directly or indirectly with the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

7. Notwithstanding the submitted plans, details showing the following capacities for refuse containers shall be submitted to and approved in writing by the Local Planning Authority, the approved details shall be provided prior to the beneficial occupation of the development and thereafter be retained and maintained.

Dry recyclables	2x 1100 litre bulk bins
Food waste	1x 240 litre bin
General waste	2x 1100 litre bulk bins

Reason. To ensure an orderly form of development.

8. Notwithstanding the submitted plans, details of the vehicle and pedestrian gates to the courtyard shall be submitted to and approved in writing by the Local Planning Authority. The details shall provide for gates that provide an appropriate level of light penetration and shall not be in the form of solid roller shutters. The approved gates shall be installed prior to the beneficial occupation of the development and shall thereafter be retained and maintained.

Reason. To ensure an orderly form of development. In the interests of crime and anti-social behaviour prevention and in the interest of visual amenity.

9. The car parking spaces and cycle storage provision shown on the approved plans shall be provided prior to the development being brought into beneficial use and thereafter shall be maintained and shall not be used for any purpose other than the parking of vehicles and cycles.

Reason: To ensure that the use of the proposed development does not interfere with the safety and free flow of traffic passing along the highway, and to promote alternative modes of transport.

10. Prior to the commencement of development, a Construction Management Plan (including, but not limited to, construction traffic routes, site hoardings, site access, parking of contractors vehicles etc.) shall be submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved Plan.

Reason. To ensure an orderly form of development and protect the amenities of the area.

11. Notwithstanding the submitted plans, a schedule of finish material shall be submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details.

Reason. In the interests of visual amenity.

12. Samples of the external finishing materials shall be submitted to and approved in writing by the Local Planning Authority. The development shall be implemented as approved.

Reason: To ensure that the finished appearance of the development is in keeping with the area.

RECOMMENDATION 2: The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints and;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management licence. The following must not be imported to a development site:
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 3: Prior to undertaking any works within the adopted highway, the consent of the Operational Manager Asset Management should be obtained (Highways@cardiff.gov.uk).

RECOMMENDATION 4: Prior to the commencement of development, the developer shall notify the local planning authority of the commencement of development, and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management Procedure)(Wales)(Amendment) Order 2016.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

1.1 A full application for the residential redevelopment of a cleared site (formerly the Duke of Clarence Hotel) to accommodate 17 flats, including the provision of refuse and cycle storage facilities (17 cycles) and the creation of courtyard vehicle parking facilities for 5 vehicles.

1.2 The proposed development is of a 3.5 storey scale, with the proposed flats being set over four floors, with the fourth floor accommodation being partially in the roof space. The roof itself has a pitched design, of slightly varying ridge heights (max. approx. 12.4m – min. approx. 11.2m). Eaves levels also vary in a corresponding manner. There are small dormer windows set into the roof of the rear annexe element, on both sides, with gable features to the Pembroke Road elevation.

The main element (fronting Clive Road) is the tallest element, with the annexe stepping down twice, to end in a hipped roof form adjacent to a 'coach house' to the rear of the application site.

The proposed building would be finished in a combination of stone, facing brick, wood and metal cladding and render, with a tiled roof. There are feature false box bay windows to both the Clive Road and Pembroke Road elevations.

1.3 Vehicular access to the courtyard is via an archway off Pembroke Road, with pedestrian access via a secondary doorway adjacent to the vehicle route off Pembroke Road.

1.4 The proposed flats comprise 7no. 2 bed units and 10no. 1 bed.

1.5 The proposal has been amended to provide 17 flats (originally 18).

2. **DESCRIPTION OF SITE**

2.1 The site is approx. 560sqm in area, and has been cleared after the demolition of the original structures. The original buildings comprised a two storey element fronting Clive Road and wrapping around into Pembroke Road, also at two storey height for approx. half of the length of this frontage along Pembroke Road, the building then reduced to a single storey flat roof building for the remainder of its length, meeting the 2 storey coach house at the end (the coach house is not included within this application site). A beer garden area was sited between the building and the site boundary to the dwellings adjacent, fronting Clive Street, with several small single storey extensions around.

2.2 The properties adjacent (fronting Clive Road) are in residential use. The application site shares a boundary to no. 44 and 46 Clive Road.

The rear boundary is formed by the 'coach house', which is in the ownership of the same applicant as this application. The dwellings to Pembroke Road and Clive Road are predominantly two storey terraces, however it is of note that no. 46 Clive Road is a three storey property, and there are several three storey flat

developments nearby.

3. **SITE HISTORY**

3.1 16/00164/MNR – Demolition of whole building – Prior Approval granted.

16/01335/MNR – Change of Use and conversion of building formerly part of the Duke of Clarence to a single dwelling – Granted.

4. **POLICY FRAMEWORK**

4.1 The site is located within an area of existing residential use.

4.2 The relevant Local Development Plan Policies are:

KP5 Good Quality and Sustainable Design

KP7 Planning Obligations

H2 Conversion to Residential Use

T5 Managing Transport Impacts

W2 Provision for Waste Management Facilities in Development

4.3 The following Guidance was supplementary to the development Plan, now superseded by the Local Development Plan. However, it is considered consistent with adopted Local Development Plan policies and provides relevance to the consideration of this proposal to help and inform the assessment of relevant matters:

Access, Circulation and Parking Standards 2010

Infill Sites 2011

In addition to the above, the following new Supplementary Planning Guidance is also relevant:

Locating Waste Management Facilities Jan. 2017

Planning Obligations Jan. 2017

5. **INTERNAL CONSULTEE RESPONSES**

5.1 The Transportation Manager has no objection, making the following comments:

The proposed development entails the replacement of the existing public house with a development of 18 one and two bed flats. In accordance with the SPG (Access, Circulation & Parking) the minimum parking requirement for the proposed use is at least 9 spaces – and since only 5 off-street spaces are proposed, together with the loss of some existing kerbside space as a consequence of the construction of the new access, there will clearly be a shortfall which may result in some overspill parking which would exacerbate existing kerbside pressure in the vicinity – evidence of which is provided by the existence of existing areas of Resident Permit Holder Only restrictions.

Set against that is the sustainable location of the site with ready access to public transport/shops/services etc., the previous use of the site as a public house – with no off-street parking, together with the consideration that previous precedents have been set with regards to the conversion to flats of other public houses in other similar inner-city locations. Indeed I believe that there's a history of appeals against refusals of previous similar applications being upheld.

Mindful of the above I consider that it would difficult to sustain an objection to the current application on the grounds of overspill parking. I'm strengthened in this view by the knowledge that future occupants of the new flats would not be entitled to Resident Permits – and also that there are proposals to increase the proportion of kerbside space dedicated to these restrictions from 50 to 75% - thereby providing additional protection for existing residents.

*Mindful of the aforementioned considerations, and in mitigation of the aforementioned overspill parking, rather than a contribution towards public transport enhancement in this instance I would request a Section 106 contribution of **£5,000** towards the cost of implementing the new Orders which I've described.*

Conditions are required with respect to the provision and future retention of car (D3D) and cycle (C3S) parking together with a Construction Management Plan condition requiring the submission of details of construction traffic routes, site hoardings, site access, parking of contractors' vehicles etc.

I'd also suggest a second recommendation advising the applicant of the need to secure the consent of the Operational Manager, Asset Management (via 'Highways@cardiff.gov.uk') prior to undertaking any works within the adopted public highway in relation to the construction of the new access, temporary diversion of the existing footpath adjoining the site, erection of scaffolding/placement of skips in the highway etc.

- 5.2 The Highways Drainage Manager has been consulted and no comments have been received.
- 5.3 The Waste Manager advises that whilst the bin storage area as indicated on the amended plans is acceptable, it should be designed to be able to meet the required capacities. In addition, details of the location of dropped kerbs to facilitate the movement of containers for collection are required.
- 5.4 The Pollution Control Manager (Contaminated Land) has no objection, subject to conditions in respect of contaminated land issues, with further contaminated land advice.
- 5.5 The Pollution Control Manager (Noise & Air) has no comment on the proposals.
- 5.6 The Regeneration Manager has been consulted and no comments have been received.

- 5.7 The Parks Manager has no objection, subject to a financial contribution towards the design, improvement and/or maintenance of public open space in the vicinity of the site, making the following comments:

Design Comments

There are no existing highway trees adjacent to the new development.

Open Space Provision

These comments relate to the current LDP (C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport; KP16 Green Infrastructure; EN8 Trees Woodlands and Hedgerows), supported by policies set out in the 2008 Supplementary Planning Guidance for Open Space which set the Council's approach to open space provision.

The Council's LDP requires provision of a satisfactory level and standard of open space on all new housing/student developments, or an off-site contribution towards existing open space for smaller scale developments where new on-site provision is not applicable.

*Based on the information provided on the number and type of units, I have calculated the additional population generated by the development to be **26.1**. This generates an open space requirement of **0.063 ha** of on-site open space based on the criteria set for **Housing accommodation**.*

*As no public open space is being provided on-site, the developers will be required to make a financial contribution towards the provision of open space off-site, or the improvement (including design and maintenance) of existing open space in the locality. Based on the above assessment the contribution payable will be **£27,080**. I enclose a copy of the calculation*

The use of S106 contribution from this development will need to satisfy CIL and the current distance requirements set out in the 2017 Planning Obligations SPG – play areas 600m (not applicable to student and sheltered accommodation), informal recreation 1000m, and formal recreation 1500mm, measured from edge of the site.

In the event that the Council is minded to approve the application, I assume it will be necessary for the applicant and the Council to enter into a Section 106 Agreement to secure payment of the contribution.

*Use of the contribution will be confirmed either at S106 stage. The closest areas of recreational open space are **Grange Gardens and Victoria Park**.*

- 5.9 The Housing Strategy Manager makes the following comments:

As the site is suitable for affordable housing, in line with the adopted Local Development Plan (LDP), an affordable housing contribution of 20% is sought on this brown-field site.

Our priority is to deliver affordable housing on-site, however, given the proposed design of the scheme, the practicality of managing and maintaining affordable housing on-site for a Registered Social Landlord may be unsustainable.

*As an alternative to on-site provision, we would be willing to accept the affordable housing contribution as a financial contribution in lieu. On that basis we would seek a financial contribution of **£202,710** (in lieu of 3 units (20%)) which is calculated in accordance with the formula in the Affordable Housing – Supplementary Planning Guidance (SPG) (2017).*

- 5.10 The Neighbourhood Renewal Manager (Access) has been consulted and no comments have been received.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Dwr Cymru/Welsh Water have no objection subject to conditions in respect of site drainage.
- 6.2 South Wales Fire & Rescue Service have provided advice that has been passed to the agent.
- 6.3 South Wales Police offer advice in respect of crime prevention and Secured by Design. These comments have been passed to the agent.

7. **REPRESENTATIONS**

- 7.1 Adjacent occupiers have been consulted and the application has been advertised on site and in the press in accordance with adopted procedures. 6no. letters have been received from occupiers of dwellings on Clive Road and Pembroke Road, raising the following objections to the proposals:

- The proposals provide insufficient parking for the number of potential residents, which will result exacerbate the existing parking problems in the area;
- The proposed building is out of scale and much bigger than the existing pub buildings on site;
- The scale of the proposals fronting Pembroke Road result in loss of privacy and light.

- 7.2 Local Members have been consulted and any comments will be reported to Committee.

8. **ANALYSIS**

- 8.1 A full application for the redevelopment of a cleared site formerly occupied by a public house to provide 17 one and two bed flats, with associated off street car parking, cycle parking and refuse storage facilities.

- 8.2 In terms of the land use policy implications of the proposals, the application premises fall within the settlement boundary as defined by the LDP proposals map and is afforded no specific designation or allocation. Clive Street is characterised by residential properties, as such the redevelopment of the site for flats is considered acceptable in relation to land use policy and the application raises no land use policy concerns.
- 8.3 In terms of design, the proposals under consideration have been reduced in scale from the original submission including a reduction in the number of flats from 18 to 17. The proposed development has been considered in two parts, the element fronting Clive Road and the 'annexe' fronting Pembroke Road.

Scale and Massing

Given the location of the site on the corner of Clive Road and Pembroke Road, it is considered that the site can accommodate a larger scale building than may be found further along the terrace, forming a 'book-end' to this part of the street scene.

The adjacent property at no. 46 Clive Road is an individual building, of three storey scale. With regard to the relationship with no. 46, the proposed building fronting Clive Road would be approx. 2.0m higher at ridge, and approx. 1.5m higher at eaves. This increase in scale is not considered to represent an over-dominant or discordant structure in terms of its scale and massing, having regard to the differing scale and massing of the adjacent dwellings and other flat development nearby.

Whilst it is acknowledged that the 'annexe' element is considerably larger than the original structure along this frontage, the proposed 'annexe' is subservient to the frontage element, benefiting from three staggered roof heights. The gable feature to the side of the frontage element, followed by the three distinct sections of the annexe help to break up the mass of building along this frontage. The relationship with the 'coach house' adjacent to the rear of the application site (within the applicant's ownership and benefitting from consent for conversion to a dwelling) is similar to that of the frontage element with no. 46 Clive St in that the ridge height of the 'annexe' is approx.. 2m higher than the existing 'coach house'. In acknowledging the half storey height increase in built form, it is considered that the 'annexe' helps to form a reasonable corner feature, at the point where Pembroke Road takes a slight southward break.

With a separation distance of approx. 12m from the side elevation of the proposal, to the elevations of the existing dwellings on the opposite side of Pembroke Road, it is considered that there is sufficient distance so as not to result in unacceptable harm to existing occupiers in respect of undue scale and massing.

Overlooking/Overbearing/Overshadowing

Concerns were raised early in the consideration of the application in respect of the development on the amenities of the occupiers of no. 44 and no. 46 Clive

Road.

In light of these concerns (overlooking/overbearing/loss of privacy) the proposals have been the subject of several amendments, including a reduction in footprint to the annexe seeing the window to boundary distance (to no. 44) extended to beyond the 10.5m minimum requirement (approx. 10.8m minimum) and several reductions in height, including the removal of the 'third' floor for that section of the 'annexe' that lies directly adjacent to the amenity space serving the ground floor maisonette at no. 46 Clive Road (the area of primary concern)

A modelling exercise has been undertaken, and it is considered that given the separation distance from the 2.0m high boundary wall of no. 46 and the side elevation of the 'annexe' (approx. 5.0m), the reduced eaves height (approx. 6.6m – down from approx. 8.3m), and the orientation of the 'annexe' to the north of the amenity space to no. 46, it is considered that there would be insufficient evidence to sustain refusal of consent on grounds of overbearing/overshadowing development.

There are no proposed windows that would compromise the privacy or amenity of the occupiers of no. 46.

With regard to the impact on the occupiers of dwellings fronting the north side of Pembroke road, it is acknowledged that the proposals result in a significant increase in built form directly opposite. It is also acknowledged that this increase in scale is likely to have some impact on sunlight previously received from the south. However, it is also noted that whilst impact on light is a material consideration, there is no 'right to light' under Planning Legislation. It is considered that sufficient ambient light will penetrate to existing south facing windows serving those dwellings on the north side of Pembroke Road so as to preclude any sustainable grounds for refusal of consent in terms of loss of light. This position appears to be supported insofar as the submitted sun path analysis plans do not indicate any significant change due to the proposed development.

In terms of overbearing on those dwellings, the issue of scale and massing has been discussed above and the proposals would not cause such harm that would justify or sustain refusal of consent on ground of being overbearing on those dwellings.

It is of note that concerns have been raised in representations in respect of loss of privacy to occupiers of dwellings to the north of Pembroke Road. In this regard, and whilst it is acknowledged that the 'window to window' separation is less than the 21m indicated in adopted Guidance, it is also of note that at 12m, this is the same degree of separation that the majority of dwellings to Pembroke Road have already. It is also of note that there were already windows at this distance to the side elevation of the (demolished) pub, directly opposite the side elevation of 50 Clive Road. In this case, whilst there is undoubtedly an increase in fenestration to this frontage (particularly in front of no. 152 & 154 Pembroke Road, it is considered that there would be no justifiable or sustainable grounds

to refuse consent in terms of loss of privacy.

Appearance

The design is such that it reflects the broadly vertical emphasis of the adjacent dwellings.

The street scene is particularly diverse along Clive Road, with many variances in built form. There are several differing styles of 2 storey terraced dwellings, interspersed with 2.5-3 storey dwellings with unique facades, and modern three storey flat developments. Pembroke Road is more regimented from the point where the road 'breaks' to the south. From that point to the junction with Clive Road, there are again several differing structures (with the application site being cleared).

The proposals reflect the verticality of the adjacent dwelling at no. 46, while incorporating a more contemporary bay underneath a gable feature to Clive Road. The 'annexe' continues the use of contemporary box bay windows to the upper floors. The proposed building has pitched roofs, with small hips to the final section of the 'annexe', softening the interface with the adjacent 'coach house'. The use of small dormer windows is also an existing feature in the area, particularly to the front and rear of the property at 150-152 Clive Road.

It is considered that the design and appearance maintains a contextual connection to the vicinity.

Materials

The number and consequent arrangement of the differing finishing materials proposed are considered to be over-complicated. A simplified palette, which includes materials which are more characteristic of the local area is therefore recommended. In this case, condition 11 requires the submission and approval of an amended schedule of materials, with condition 12 requiring the submission and approval of samples.

- 8.4 It is noted that the site offers very little in terms of on site amenity space. However, it is located within a short walk of both Thompson's Park and Victoria Park and this coupled with the breakdown of the proposed flats (7 x 2bed and 10 x 1bed), and the consequent limited likelihood that they will be used as family accommodation, would make it difficult to sustain an objection to the proposal on this basis.
- 8.5 With regard to the traffic and parking matters raised in objection, the advice of the Operational Manager Transportation can be found in para. 5.1 above, where it can be seen that no objection is raised in respect of highway safety, or parking provision, subject to a number of conditions and a contribution towards the enactment of additional Traffic Orders in the vicinity. In this case, there would be no sustainable grounds to refuse planning permission on the basis of lack of parking provision.

8.6 S106 matters – The following contribution requests have been made, with reference made to the Community Infrastructure Levy tests:

Parks – A contribution of **£27,080** is requested towards the maintenance/provision of open space in the vicinity of the site.

Housing Strategy – A financial contribution of **£202,710** is requested (in lieu of 3 units), or, 3x LCHO units on site.

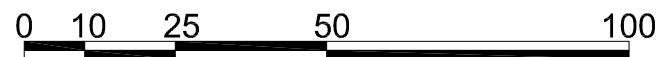
Traffic & Transportation – A financial contribution of **£5000** is requested towards the cost of implementing enhanced resident parking permit Traffic Orders in the vicinity of the site.

8.7 The application has been the subject of a financial viability appraisal and assessment by the District Valuation Service (DVS). In preparing their report, the DVS concluded that the development would deliver a surplus of £65,500 on the basis of a wholly market housing scheme. It is proposed to allocate the financial contribution proportionately between the Parks Service and Affordable Housing which would result in the following financial contributions:

- £5,000 towards the cost of implementing enhanced resident parking permit Traffic Orders in the vicinity of the site.
- 7,393 towards the maintenance/provision of open space in the vicinity of the site.
- £53,107 towards the provision of affordable housing

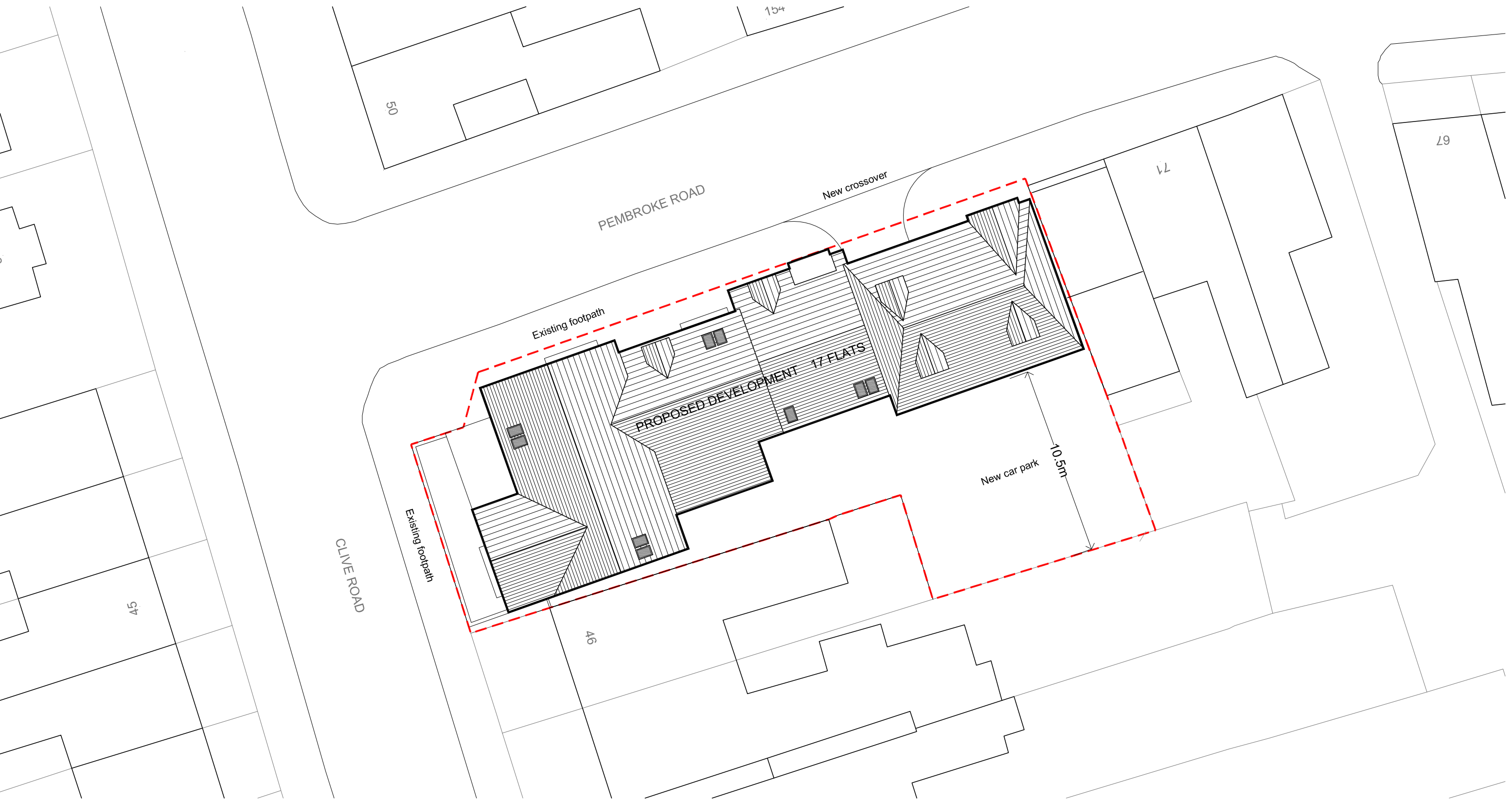
The trigger for the receipt of these contributions will be upon first occupation of any residential unit.

8.8 In light of the above, and having regard to adopted planning policy guidance it is recommended that planning permission be granted, subject to a legal agreement and conditions.



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Project Name : Duke of Clarence, Canton		Project Ref : G1353	
Drawing Title : Location Plan	Drawing Number : P100		Scale : 1:1250 @ A3
Revision: -	Drawn by: rb	Date: Jan 2016	



REV E (26.06.2017) - Roof plan updated to reflect amendments to plans
 REV D (24.03.2017) - Roof plan updated to reflect amendments to plans
 REV C (07.12.2016) - Roof plan updated to reflect amendments to plans
 REV B (14.09.2016) - Roof plan updated to reflect amendments to plans
 REV A (13.07.2016) - Roof plan updated to reflect amendments to plans and elevations

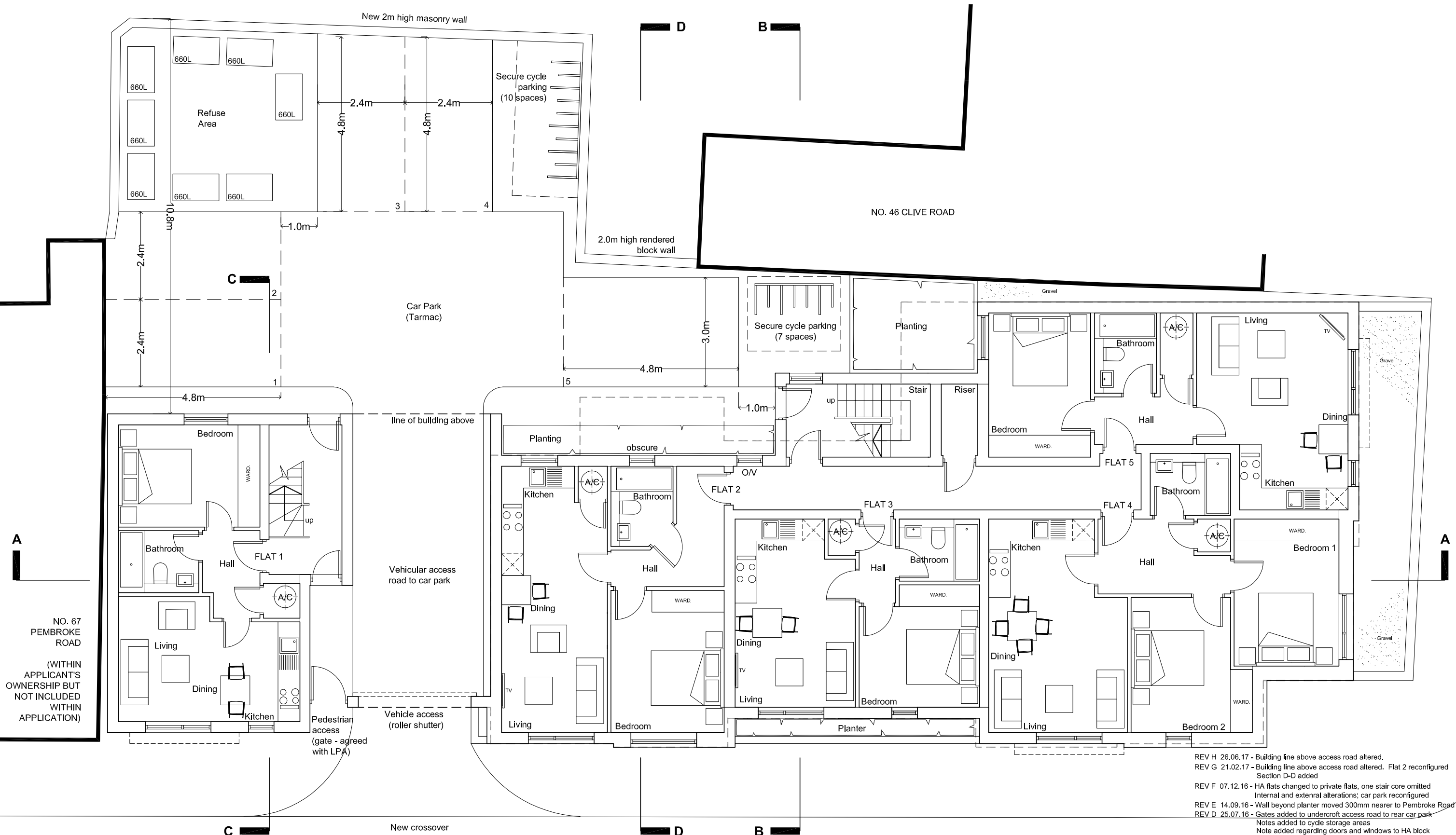


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Project Name :	Duke of Clarence, Canton
Project Ref :	G1353

Drawing Title :	Proposed Site Plan	Scale :	1:200 @ A3
Drawing Number :	P01		

Revision:	E	Drawn by:	rb	Date:	Jan 2016
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NO. 67
PEMBROKE
ROAD

(WITHIN
APPLICANT'S
OWNERSHIP BUT
NOT INCLUDED
WITHIN
APPLICATION)

- REV H 26.06.17 - Building line above access road altered.
- REV G 21.02.17 - Building line above access road altered. Flat 2 reconfigured Section D-D added
- REV F 07.12.16 - HA flats changed to private flats, one stair core omitted Internal and external alterations; car park reconfigured
- REV E 14.09.16 - Wall beyond planter moved 300mm nearer to Pembroke Road
- REV D 25.07.16 - Gates added to undercroft access road to rear car park
Notes added to cycle storage areas
Note added regarding doors and windows to HA block
- REV C 13.07.16 - Separating distance note amended
- REV B 13.07.16 - Plan amendments including increasing separation distances to No.46 Clive Road. Section C-C added
- REV A 22.06.16 - Sectional cut lines shown (Sections A-A & B-B)

PEMBROKE ROAD

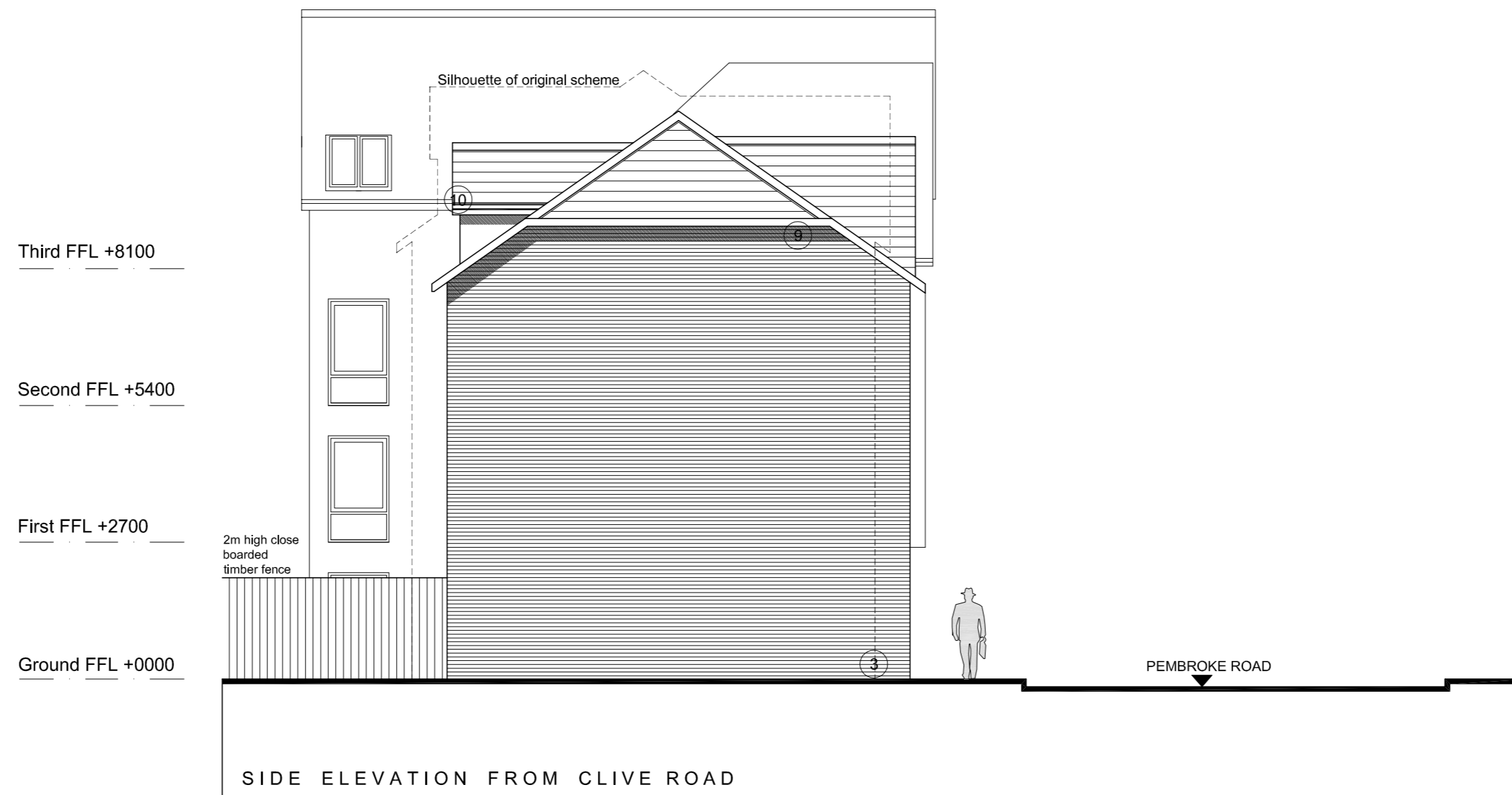
CWA C. W. ARCHITECTS Ltd
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Project Name : Duke of Clarence, Canton		Project Ref : G1353	
Drawing Title : Proposed Ground Floor Plan	Drawing Number : P02		Scale : 1:100 @ A3
Revision: H	Drawn by: rb	Date: Dec 2016	



MATERIALS KEY

- ① Colour coated windows with clear double glazing
- ② Profiled metal cladding
- ③ Red facing brickwork
- ④ Timber cladding
- ⑤ Rough coursed stone
- ⑥ Blue/black cement fibre roof tiles
- ⑦ Velux type rooflights
- ⑧ Sand cement render
- ⑨ Colour coated barge boards, fascias, soffits & rainwater goods
- ⑩ Lead dormer
- ⑪ Precast concrete cill / coping
- ⑫ Colour coated roller shutter



REV J 19.06.17 - Flat 14 changed to 1-bed flat. Roof changed accordingly
Minor internal alterations

REV H 21.02.17 - New cantilevered 'bay' window added

REV G 07.12.16 - HA flats changed to private flats, one stair core omitted
Internal and external alterations; car park reconfigured

REV F 14.09.16 - Eaves & ridge height dropped to roof above flats 7 & 8 (private)
Partial hip shown to roof adjacent to existing building
New windows to flats HA4 and HA7


REV E 25.07.16 - Pembroke Rd elevation amended to show roller shutter
to undercroft access road to rear car park

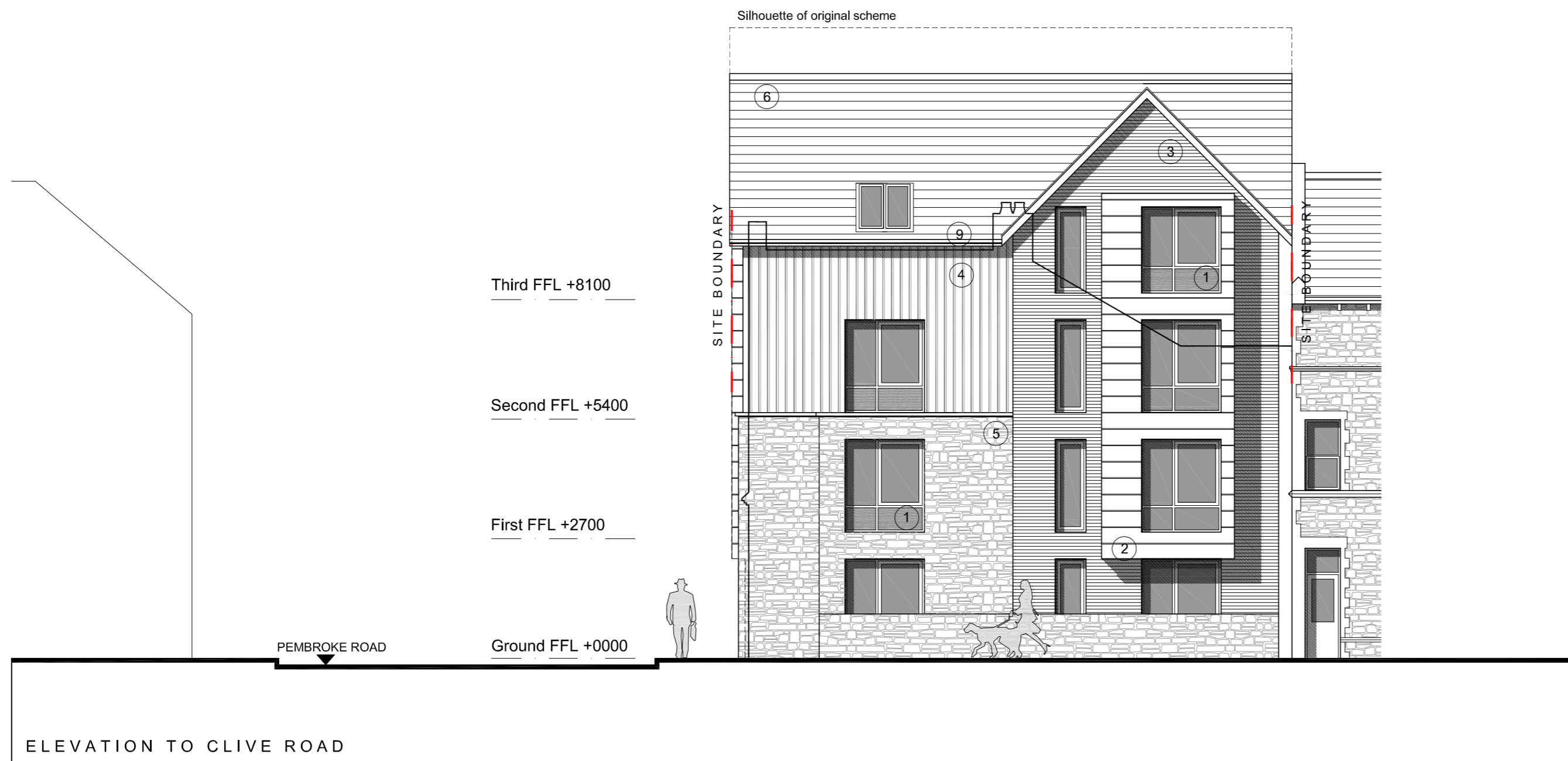
REV D 13.07.16 - Side elevation amended to show hip roof in background

REV C 13.07.16 - Existing building outline changed to solid line

REV B 13.07.16 - Floor to Floor heights reduced. Gable pitch reduced to south
western block to lower ridge height further

REV A 21.06.16 - Outline of existing building shown (as a dashed line)
Existing neighbouring buildings shown in more detail

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		Drawing Title : Proposed Elevations (1) Drawing Number : P06	Scale : 1:100 @ A2
Reviser : J Drawn by : rb Date : Jan 2016			



- MATERIALS KEY**
- ① Colour coated windows with clear double glazing
 - ② Profiled metal cladding
 - ③ Red facing brickwork
 - ④ Timber cladding
 - ⑤ Rough coursed stone
 - ⑥ Blue/black cement fibre roof tiles
 - ⑦ Velux type rooflights
 - ⑧ Sand cement render
 - ⑨ Colour coated barge boards, fascias, soffits & rainwater goods
 - ⑩ Lead dormer
 - ⑪ Precast concrete cill / coping
 - ⑫ Colour coated roller shutter



REV G 19.06.17 - Flat 14 changed to 1-bed flat. Roof changed accordingly
 Minor internal alterations. Rooflights (obscure) added
 Cantilevered 'bay' window omitted

REV F 21.02.17 - New cantilevered 'bay' window added

REV E 07.12.16 - HA flats changed to private flats, one stair core omitted
 Internal and external alterations, car park reconfigured

REV D 14.09.16 - Eaves & ridge height dropped to roof above flats 7 & 8 (private)
 Partial hip shown to roof adjacent to existing building

REV C 13.07.16 - Existing building outline changed to solid line

REV B 13.07.16 - Floor to Floor heights reduced. Gable pitch reduced to south
 western block to lower ridge height further. No.50 Clive Rd added

REV A 21.06.16 - Outline of existing building shown (as a dashed line)
 Existing neighbouring buildings shown in more detail

COMMITTEE DATE: 12/07/2017

APPLICATION No. **16/02793/MJR** APPLICATION DATE: 23/11/2016

ED: **CATHAYS**

APP: TYPE: Full Planning Permission

APPLICANT: Gower (Cathays) Ltd

LOCATION: THE GOWER HOTEL, 29 GWENNYTH STREET, CATHAYS, CARDIFF, CF24 4PH

PROPOSAL: DEMOLITION OF FORMER PUBLIC HOUSE AND ERECTION OF 9 NO. 3 BED DWELLINGS AND 1 NO 2 BED DWELLING

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding planning obligation, in agreement with the Council, under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 8.6 of this report, outline planning permission be **GRANTED** subject to the following conditions:

1. The development permitted shall be begun before the expiration of three years from the date of this planning permission.
Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990.

2. This consent relates to the following plans and documents:

Plans

DRG001 rev. A; 002 rev. A; 004 rev. A; 006 rev. A; 007; 008 rev. B; 12 rev. A; 020 rev. A; 022 rev. A & 023 rev. B.

Documents

WYG Planning Statement dated November 2016
WYG Design & Access Statement ref: A97197 Gower-DAS_Rev. A
Asbri Transport, Transport Statement dated October 2016
Sylvan ecology Bat Survey report ref: HO39-Bat Report-V1.1
Grashopper Pre-Application Consultation Report dated 22 Nov. 2016
Cardiff Treescapes Arboricultural Report

Reason: For the avoidance of doubt.

3. The refuse storage facilities shown on the approved plans shall provide for a 140 litre general waste bin and shall be provided prior to the beneficial occupation of the development and shall thereafter be retained and maintained.
Reason: To ensure an orderly form of development and protect the

amenities of the area.

4. No part of the development hereby permitted shall be occupied until a scheme of environmental improvements to Gwennyth Street footway in the vicinity of the site has been submitted to and approval in writing by the LPA. The scheme should include as required, but not be limited to, the reconstruction as footway of the existing crossover and resurfacing of the remaining areas of footway; including as required, surfacing, edging, the provision/renewal of street lighting and street furniture as may be required as a consequence of the development. The agreed scheme to be implemented to the satisfaction of the LPA prior to beneficial occupation of the site.
Reason: To ensure the reinstatement of the adjacent public highway in the interests of highway and pedestrian safety and to facilitate access to the proposed development.
5. No part of the development hereby permitted shall be commenced until a scheme of construction management has been submitted to and approved by the Local Planning Authority, to include as required but not limited to the traffic management proposals relating to the demolition of the existing building, details of site hoardings, site access and wheel washing facilities. Construction of the development shall be managed strictly in accordance with the scheme so approved.
Reason: In the interests of highway safety and public amenity.
6. Development shall not begin until an appropriate photographic survey of the existing buildings on the site has been carried out in accordance with details to be submitted to, and approved by, the Local Planning Authority. The resulting photographs should be deposited with National Monuments Record and the Historic Environment Record, operated by the Glamorgan-Gwent Archaeological Trust (Heathfield House, Heathfield Swansea SA1 6EL. Tel: 01792 655208)
Reason: To maintain an accurate historical record of the existing former Public House.
7. No development shall commence (excluding demolition and site clearance), until a drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall provide for the disposal of foul, surface and land water, and include an assessment of the potential to dispose of surface and land water by sustainable means. Thereafter the scheme shall be implemented in accordance with the approved details prior to the occupation of the development and no further foul water, surface water and land drainage shall be allowed to connect directly or indirectly with the public sewerage system.
Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

8. No equipment, plant or materials shall be brought onto the site for the purpose of development (excluding demolition and site clearance), until there has been submitted to and approved by the Local Planning Authority a scheme of landscaping, which shall include details of paved areas, verges and other open spaces, indications of all existing trees and hedgerows on the land, and details of any to be retained and planted.
Reason: To maintain and improve the appearance of the area and in the interests of visual amenity.
9. Any trees, plants, or hedgerows which within a period of five years from the completion of the development die, are removed, become seriously damaged or diseased, or become (in the opinion of the Local Planning Authority) otherwise defective, shall be replaced in the current planting season or the first two months of the next planting season, whichever is the sooner, unless the Local Planning Authority gives written consent to any variation.
Reason: To maintain and improve the amenity of the area.
10. C20 Architectural Detailing
11. E1B Samples of Materials
12. Prior to the commencement of the development an assessment of the nature and extent of contamination shall be submitted to and approved in writing by the Local Planning Authority. This assessment must be carried out by or under the direction of a suitably qualified competent person * in accordance with BS10175 (2011) Code of Practice for the Investigation of Potentially Contaminated Sites and shall assess any contamination on the site, whether or not it originates on the site.

The report of the findings shall include:

- (i) a desk top study to identify all previous uses at the site and potential contaminants associated with those uses and the impacts from those contaminants on land and controlled waters. The desk study shall establish a 'conceptual site model' (CSM) which identifies and assesses all identified potential source, pathway, and receptor linkages;
- (ii) an intrusive investigation to assess the extent, scale and nature of contamination which may be present, if identified as required by the desk top study;
- (iii) an assessment of the potential risks to:
 - human health,
 - groundwaters and surface waters
 - adjoining land,
 - property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,

- ecological systems,
 - archaeological sites and ancient monuments; and
 - any other receptors identified at (i)
- (iv) an appraisal of remedial options, and justification for the preferred remedial option(s).

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (2012), unless the Local Planning Authority agrees to any variation.

* A 'suitably qualified competent person' would normally be expected to be a chartered member of an appropriate professional body (such as the Institution of Civil Engineers, Geological Society of London, Royal Institution of Chartered Surveyors, Institution of Environmental Management) and also have relevant experience of investigating contaminated sites.

Reason: To ensure that information provided for the assessment of the risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems is sufficient to enable a proper assessment in accordance with policy EN13 of the Cardiff Local Development Plan.

13. Prior to the commencement of the development a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (July 2006), unless the Local Planning Authority agrees to any variation.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with

policy EN13 of the Cardiff Local Development Plan.

14. The remediation scheme approved by condition 12 above must be fully undertaken in accordance with its terms prior to the occupation of any part of the development unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be submitted to and approved in writing by the Local Planning Authority.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (July 2006), unless the Local Planning Authority agrees to any variation.

Reason : To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

15. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

16. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in

accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused. Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

17. Unless otherwise agreed with LPA, the applicant is required to undertake a detailed dust assessment which shall quantify the magnitude of risk to surrounding/ nearby sensitive receptors, this being the various residential properties located within 350m to the site boundary, during the demolition and construction phase of the development. A corresponding Construction Environmental Management Plan with sub section outlining mitigation and control measures to suppress dust emissions shall be submitted and approved by Local Authority Personnel before commencement of works.

Reason: To assess air quality and agree any mitigation measures that may be required to safeguard the amenity of nearby residents in the area.

18. Prior to commencement of development a scheme shall be submitted to and approved in writing by the Local Planning Authority to provide that all habitable rooms exposed to external railway noise shall be subject to sound insulation measures to ensure that all such rooms achieve an internal noise level of 35 dBA Leq 16 hour during the day and 30 dBA Leq 8 hour at night. The submitted scheme shall ensure that habitable rooms subject to sound insulation measures shall be provided with acoustically treated active ventilation units. The ventilation method be it mechanical or passive as a minimum should comply with building regulations approved document F.

No habitable room shall be occupied until the approved sound insulation and ventilation measures have been installed in that room. Any private open space (excepting terraces or balconies to any apartment) shall be designed to provide an area which is at least 50% of the area for sitting out where the maximum day time noise level does not exceed 55 dBA Leq 16 hour [free field].

Reason: To ensure that the amenities of future occupiers are protected.

19. Prior to the commencement of development details of the measures to protect the side elevation of no. 26 Gwennyth Street, exposed by the demolition of the public house, and a scheme of remediation works shall be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented immediately upon the substantive completion of demolition works.

Reason: To protect the integrity of the adjacent dwelling and in the interests of visual amenity.

20. Samples of the external finishing materials shall be submitted to and approved by the Local Planning Authority. The development shall be

carried out in accordance with the approved details.

Reason: To ensure that the finished appearance of the development is in keeping with the area.

21. Details of the means of enclosure to the rear elevation separating the application site from the Network Rail land shall be submitted to and approved in writing by the Local Planning Authority. The approved enclosures shall be provided prior to the beneficial occupation of the development.

Reason: To ensure an orderly form of development and to protect the amenities of future occupiers.

22. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order amending, revoking, or re-enacting that Order) no structure or extension shall be placed within the curtilage of any dwelling or alteration to any roof.

Reason: To ensure the orderly development of the area with adequate space about buildings and in the interests of the visual amenity of the area.

23. The dormer bathroom window to the Gwennyth Street frontage of Unit 9 as identified on the approved plans shall be glazed in obscured glass and shall be non-opening below a height of 1.8m above internal floor level and shall thereafter be so retained and maintained.

Reason: To protect the privacy of future and adjacent occupiers.

RECOMMENDATION 2: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3: Welcome Pack – The applicant is requested to provide future residents with a welcome pack upon their arrival, detailing public transport services in the area, to help promote sustainable transport. Leaflets and advice in connection with production of the packs are available from Cardiff Council, County Hall, Tel: 029 2087 2213.

RECOMMENDATION 4 : The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints and;

- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management licence. The following must not be imported to a development site:
1. Unprocessed / unsorted demolition wastes.
 2. Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 3. Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 5: Prior to the commencement of development, the developer shall notify the local planning authority of the commencement of development, and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management Procedure)(Wales)(Amendment) Order 2016.

RECOMMENDATION 6: That any developer be made aware of, and act upon as appropriate, the following precautionary measures in respect of the impact of works on bats, a European Protected Species:

4. Timing of works to avoid bats' maternity and hibernation seasons
5. Giving tool-box talks to site operatives such that they are aware that bats may be present
6. Having an ecologist on call in case bats are found during demolition, etc. If bats are found during these works, they should stop immediately and Natural Resources Wales contacted for advice
7. Incorporating enhancement measures for bats, such as bat bricks, bat tiles or providing bat access to roof voids – the applicant's ecologist can provide advice on the appropriate number and location of these features
8. A final pre-demolition internal inspection of the roof void of the building - as is suggested by section 5.4 of the bat survey report
9. Repeat of the bat survey if works do not take place within two years of the most recent survey.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 An application for the demolition of a vacant former public house premises, and the construction of 9no 2-3 storey, 3 bed dwellings and 1no 2 storey, 2 bed dwelling.
- 1.2 The proposed dwellings occupy the entire Gwennyth Street frontage, and are set back off the back edge of the pavement by approx. 1.6m, and set behind dwarf brick walls (with planters behind).
- 1.3 The Gwennyth Street elevations present as being two storey terraced dwellings, finished in red facing brick. Units 1-9 benefit from a pitched roof over, finished in slate. Unit 10, sited at the northernmost corner of the site has a flat roof, and is finished in red facing brick to the ground floor and hanging tiles to the first floor. Unit 9 benefits from a small render finish dormer to the roofslope fronting Gwennyth Street, serving a bathroom.
- 1.4 The rear elevation (facing the railway line) presents as three storeys in height, with a shallow pitched roof over. At ground floor there is a projecting bay, with a flat roof. The bay elevations are finished in white render, with red facing brick to the upper floors.
- 1.5 Units 1-8 benefit from a square shaped rear amenity area of approx. 20sqm. The units also have small yard areas to the Gwennyth Street frontage, where the refuse containers can be stored. Units 9 & 10 have more irregular rear amenity areas, but the amount of space is larger at approx. 25sqm. Units 9 & 10 also have a small area of external space to their frontage with Gwennyth Street.
- 1.6 The plans appear to indicate a 1.8-2.0m enclosure to the railway line, with the existing boundary wall between the application site and the adjacent commercial vehicle garage being retained.
- 1.7 The proposals have been amended so as to reduce the depth and footprint of unit 9 and 10 in order to reduce the impact of unit 9 on future occupiers of unit 8, and to increase the usability of the amenity space to these two units. Unit 10 has also been reduced from a 3 bed to a 2 bed dwelling as a result of the reduced building size.

2. **DESCRIPTION OF SITE**

- 2.1 The site is approx. 810sqm in area, forming the northern end of a terrace of residential properties. The existing building, of predominantly red brick construction, with a pitched roof at two levels, is currently vacant and was formerly a public house.
- 2.2 The adjacent properties on Gwennyth Street are in residential use, being of mainly two storey terrace with some three storey 'Townhouse' styles. To the rear of the site is a local railway line. To the north of the site is an existing vehicle repair garage business, which leads on to further residential properties.

To the opposite side of Gwennyth Street there are is a residential terrace of traditional 2 storey pitched roof construction.

3. **SITE HISTORY**

- 3.1 14/02918/MJR – Demolition of pub and development of 24 residential units – Refused – Dismissed at appeal

4. **POLICY FRAMEWORK**

- 4.1 The relevant Local Development Plan Policies are:

Policy KP5 (Good Quality and Sustainable Design)
Policy H6 (Change of Use or Redevelopment to Residential Use)
Policy T1 (Walking and Cycling)
Policy T5 (Managing Transport Impacts)
Policy W2 (Provision for Waste Management Facilities in Development)

- 4.2 The following Guidance was supplementary to the development Plan, now superseded by the Local Development Plan. However, it is considered consistent with adopted Local Development Plan policies and provides relevance to the consideration of this proposal to help and inform the assessment of relevant matters:

Access, Circulation and Parking Standards 2010
Infill Sites 2011

In addition to the above, the following new Supplementary Planning Guidance is also relevant:

Locating Waste Management Facilities Jan. 2017
Planning Obligations Jan. 2017

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 The Transportation Manager has no objection, making the following comments:

Having considered the results of the car parking survey that was included within the Transport Statement which demonstrated adequate capacity within the existing streets to accommodate the developments parking with minimal impact, I raise no objection to the application subject to the following condition:-

Construction management plan condition – No part of the development hereby permitted shall be commenced until a scheme of construction management has been submitted to and approved by the Local Planning Authority, to include as required but not limited to the traffic management proposals relating to the demolition of the existing building, details of site hoardings, site access and wheel washing facilities. Construction of the development shall be managed strictly in accordance with the scheme so approved. Reason: In the interests of

highway safety and public amenity.

- 5.2 The Highways Drainage Manager has no observations to offer from a drainage viewpoint..
- 5.3 The Waste Manager considers the indicated refuse storage facilities to be acceptable in principle.
- 5.4 The Pollution Control Manager (Contaminated Land) has no objection, subject to a condition in respect of unforeseen contamination, along with contaminated land advice.
- 5.5 The Pollution Control Manager (Noise & Air) has no objection subject to the imposition of a condition relating to railway noise soundproofing.
- 5.6 The Neighbourhood Renewal (Access) Manager has been consulted and no comments have been received.
- 5.7 The Parks Manager has no objection to the proposed change of use, subject to the developer agreeing to a financial contribution of **£25,939** towards the provision of or maintenance of existing open space in the vicinity of the site.
- 5.8 The Neighbourhood Regeneration Manager has been consulted and no comments have been received.
- 5.9 The Housing Strategy Manager has considered the proposals and makes the following comments:

In line with the adopted LDP, an affordable housing contribution of 20% of the 10 units (2 units) is sought on this brown-field site.

Our priority is to deliver on-site affordable housing, in the form of affordable rented accommodation, and this site is suitable intermediate rented accommodation, built to Welsh Government Development Quality Requirements for purchase by a nominated Registered Social Landlord (RSL) partner.

For information, any affordable housing scheme should be appraised on a NIL Social Housing Grant (SHG) basis, and the amounts that a Registered Social Landlord (RSL) would pay for the units is specified below:

Intermediate Rented

3 bed house	£110,000
--------------------	-----------------

Please note that the above price relates to the properties only and any additional service charges for un-adopted roads, public open space, green infrastructure, public realm etc. may not be due by any future residents of the affordable housing units.

The affordable units will be delivered by a Registered Social Landlord (RSL) and the Council will identify a preferred RSL partner.

- 5.10 The Air Quality Manager has no objection, subject to a condition relating to dust suppression.
- 5.11 The council's Ecology Officer has no objection, making the following comments:

I have considered this bat report and noted the conclusions that no evidence of bats was found and that the building has negligible potential for roosting bats. Whilst I do not necessarily disagree with these conclusions, I do have some concerns over the bat survey report, as follows.

The report states in section 1.3 that *'The immediate and surrounding area has low potential for roosting, foraging and commuting bats.'*, and in section 4.1 that *'The vegetation along the railway is predominantly scrub and small trees with no roosting potential.'* In my view, the scrubby vegetation along the adjacent railway embankments provides ideal foraging and commuting habitat, which provides good connectivity to the nearby Cathays Cemetery, where bats are known to occur. Furthermore, there are some mature trees along the railway embankments and adjacent gardens, which could well support bat roosts, including a large, ivy-clad tree immediately adjacent to the back of the property. These habitats are illustrated in the image below, which shows the rear of the Gower Hotel property:-



- The report repeatedly suggests that the building has low bat roost potential due to its urban location, e.g. Section 5.2 *'Due to its location, the building is considered generally unsuitable for roosting bats'*, as well as sections 4.3, 5.1 and 5.4. Whilst it is true that an individual building in an urban area is less likely

to support bats than identical building in a rural area, it is also true that bats occur throughout Cardiff, including in urban areas. Whilst I do not have any bat records in the immediate vicinity of this property, this may simply be due to lack of survey effort in this area rather than absence of bats, and as above, the site has good habitat connectivity to known bat foraging areas. Therefore I do not agree that the location of the building precludes its use by bats

The report points out that no evidence of bats in the form of droppings etc. were found in any of the roof voids or the cellar. However, crevice-dwelling bats such as pipistrelles may not necessarily leave droppings in these locations as they may be roosting in the structure of the roof / walls. External signs of bat use such as fur or urine staining are also not always visible. I note that no flight survey (emergence / re-entry) was undertaken.

Therefore, I propose a number of precautionary mitigation measures to take account of the possibility that bats may not have been detected, or may colonise the building since the last survey was undertaken. These measures should be attached as a **recommendation** to any consent given:-

- Timing of works to avoid bats' maternity and hibernation seasons
- Giving tool-box talks to site operatives such that they are aware that bats may be present
- Having an ecologist on call in case bats are found during demolition, etc. If bats are found during these works, they should stop immediately and Natural Resources Wales contacted for advice
- Incorporating enhancement measures for bats, such as bat bricks, bat tiles or providing bat access to roof voids – the applicant's ecologist can provide advice on the appropriate number and location of these features
- A final pre-demolition internal inspection of the roof void of the building - as is suggested by section 5.4 of the bat survey report
- Repeat of the bat survey if works do not take place within two years of the most recent survey

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Dwr Cymru/Welsh Water have no objection subject to conditions in respect of site drainage.
- 6.2 South Wales Police offer comments in respect of crime prevention matters. Their correspondence has been forwarded to the agent.
- 6.3 South Wales Fire & Rescue Service provide advice relating to fire fighting, which have been passed to the agent

7. **REPRESENTATIONS**

- 7.1 Adjacent occupiers have been consulted and the application has been advertised on site and in the press in accordance with adopted procedures. Two letters of objection have been received, with concerns raised in respect of the loss of the existing pub building and the use of slate/tiles to the façade of

unit 9 &10 rather than facing brick.

A further representation, neither objecting to, or supporting the proposal comments that this should be an 8 unit development which would assist in alleviating the current parking issues in the vicinity. It is further commented that the submitted Transport Assessment is 'fundamentally flawed'.

7.2 Local Members have been consulted and no comments have been received.

8. **ANALYSIS**

8.1 An application for the demolition of a vacant former public house premises, and the construction of 9no 2-3 storey, 3 bed dwellings and 1no 2 storey, 2 bed dwelling.

8.2 The site is located in the settlement boundary as defined by the LDP proposals map. The site has no specific designation or allocation but falls within a largely residential area .The premises comprise a vacant public house.

The application is therefore assessed against Policy H6: Change of Use or Redevelopment to Residential Use which provides a framework for the assessment of change of use, conversion or redevelopment of redundant previously developed land and premises for residential purposes within settlement boundaries.

Assessed against this policy framework, given the location of the application site in an established residential area and that the application premises are afforded no policy protection, the application raises no land use policy concerns.

8.3 The existing building, although of some character and local interest, is not Listed (Statutory), and is not on the Council's list of buildings of interest. In this case, there are no sustainable planning policy grounds to prevent its demolition.

Notwithstanding the above, whilst it is noted that the Glamorgan Gwent Archaeological Trust have not commented on this application, under application 14/02918/MJR a photographic survey was recommended and required by condition. In this regard, condition 5 above is considered to be appropriate.

8.4 With regard to the scale and design of the proposed dwellings, the following comments are made:

- The proposal is for a redevelopment of the Gower pub, which has ceased trading as a public house. The existing structure is a characterful red-brick building which it would be preferable to retain and alter, however, it is understood that the adaptation of the existing structure into residential use has been explored by the applicants and is commercially unviable.

- The area is typically characterised by 2-3 storey terraced houses with pitched roofs. It is considered that the current proposals respect to that context. It is noted that units 9 & 10 have a slightly different presentation to Gwennyth Street, caused predominantly by the constrained nature of the site at its northernmost point. These units are set back further from the pavement and slightly back of the front elevations to units 1-8, and are finished in hanging tiles at first floor, and unit 9 benefits from a small dormer window. Whilst this finish and appearance is clearly different to the remainder of the new terrace, it is not considered to cause any unacceptable conflict or discord, given that this is a new development and is not intended (or required) to completely replicate the existing adjacent terrace.
- The design of the pitched roofs presents a steep pitch to the Gwennyth Street frontage, and a shallower pitch to the rear, in order to accommodate the second floor accommodation. This arrangement results in a larger 'first step' in ridge height between no. 26 Gwennyth Street and Unit 1 (to mitigate the sloping site). Given the location of the building in the street and the existing precedent set by the Gower pub, this height is considered acceptable. The submitted elevation plans indicate that the proposed dwellings would sit well in the street scene. The Infill Sites SPG says that:

All development must be of good design and make a positive contribution to the adjacent townscape/landscape; this should come about following a clear vision for the project identified after a detailed analysis of what is appropriate for the context. The design response may be expressed in a number of ways but should always make a positive contribution to the context of the area.

- The building line frontage responds to the existing street scene and the adjacent row of terraces. The proposed boundary treatment similarly reflects the style of the street. Details of the brickwork (banding, coping etc.) should be provided.
- Whilst it is noted that the rear amenity spaces offered fall short of the figures provided as guidance in the Infill Sites SGP, this shortfall is considered in context of existing gardens to many of the dwellings surrounding the site, which also fall below that guidance. The amenity space offered is of a usable size and shape (including unit 9 & 10 as a result of amendment), and will have a relatively open aspect over the potential boundary enclosure, with plenty of 'open' sky over the adjacent railway line. In this case, it is considered, on balance, that the level of amenity space is acceptable. It is also of note, and a material consideration, that there is substantial parkland within easy walking distance of the application site.

In this case, it is considered that the proposed dwellings respect the character and context of the local environment and offer an acceptable form of infill development.

8.5 With regard to the issues raised in representations, not addressed above, the Transport Statement has been reviewed by the Operational Manager Transportation, who has no objection to the proposals. In this case, there would be no reasonable or sustainable grounds to refuse consent in terms of parking provision.

8.6 S106 matters – The following contribution requests have been made, with reference made to the Community Infrastructure Levy tests:

Parks – **£25,939** – Towards the improvement of open space in the vicinity. Details to be agreed in line with the CIL tests.

Affordable Housing – The Housing Strategy Manager has requested a 20% contribution (2 units) be provided on site.

8.7 The application has been the subject of a financial viability appraisal and assessment by the District Valuation Service (DVS). This appraisal was undertaken before the amendments were made to the proposed development that have resulted in a reduction in the number of bedrooms of unit 10 and a re-configuration of units 9 and 10. In preparing their report, the DVS concluded that the development would deliver a surplus of £79,000 on the basis of a wholly market housing scheme. The developer is not contesting this report, however have agreed to make a financial contribution of £49,000 which further recognises the loss in revenues as a consequence of the amended plans. This value is considered reasonable. It is proposed to allocate the financial contribution proportionately between the Parks Service and Affordable Housing which would result in the following financial contributions:

- £5,168 towards the improvement of open space in the vicinity.
- £43,832 towards the provision of affordable housing

The trigger for the receipt of these contributions will be upon first occupation of any residential unit.

8.8 In light of the above, and having regard to adopted planning policy guidance it is recommended that planning permission be granted, subject to a legal agreement and conditions.




Residential Development at the former Gower Hotel, Gwennyth Street, Cathays - Cardiff



Location Plan - 1:1250



Location Plan - 1:500

-  Proposed development
-  Existing building outline
-  Site boundary



1:1250 @ A3
 1:500 @ A3

Project: **A097197 The Gower**

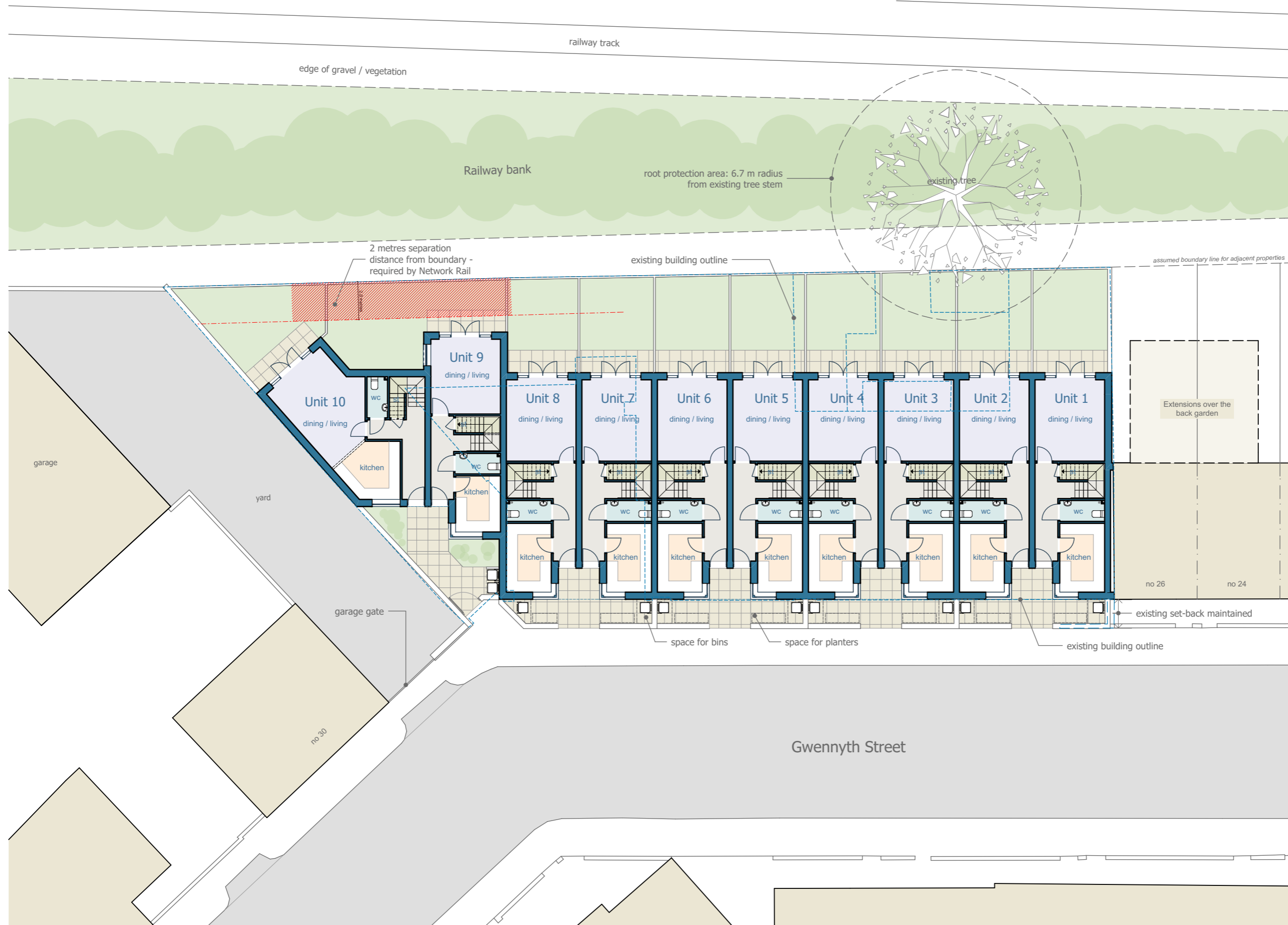
Location: 28 Gwynneeth Street
 Cathays, Cardiff CF24 4PH

Client: Gower (Cathays) Ltd

Date: 20 November 2016

Drawing: DRG001
 Location Plan

Residential Development at the former Gower Hotel, Gwennyth Street, Cathays - Cardiff



Revision:
A 18.6.16 CEN
 Updated layout for units 9 & 10.



1:200 @ A3

Project: **A097197 The Gower**

Location: 28 Gwennyth Street
 Cathays, Cardiff CF24 4PH

Client: Gower (Cathays) Ltd

Date: 18 June 2017

Drawing: DRG002 Rev.A
 Site Plan & Ground Floor

WYG Group
 Floor 5, Longcross Court, 47 Newport Road
 Cardiff CF24 0AD
 Tel +44(0)29 2082 9200
 email: planning.cardiff@wyg.com www.wyg.com

WYG Environment Planning Transport Limited 2017

Site Plan - 1:200





- 1 - Slate roof
- 2 - Red brick
- 3 - PVCu windows in slate colour
- 4 - Paneled timber doors
- 5 - Slate hanging tiles cladding
- 6 - Polymer render wall
- 7 - Black brick details
- 8 - Sandstone effect concrete sill

Street (West) elevation 1:100

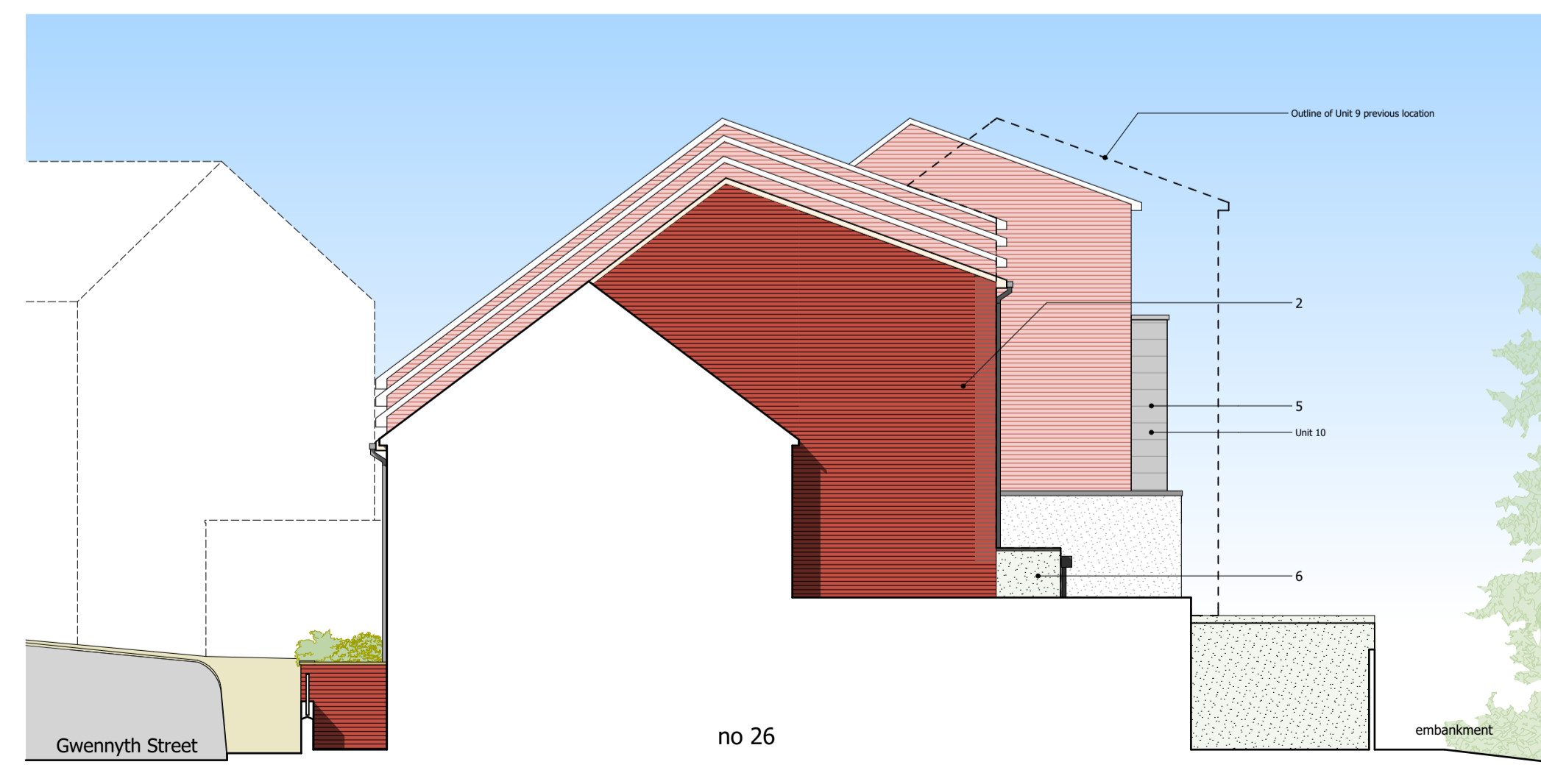


- 1 - Slate roof
- 2 - Red brick
- 3 - PVCu windows in slate colour
- 4 - Aluminium doors in slate colour
- 5 - Slate hanging tiles cladding
- 6 - Polymer render wall
- 7 - Black brick details
- 8 - Sandstone effect concrete sill

Railway (East) elevation 1:100



North elevation 1:100



South elevation 1:100

- 1 - Slate roof
- 2 - Red brick
- 3 - PVCu windows in slate colour
- 4 - Aluminium doors in slate colour
- 5 - Slate effect hanging tiles cladding
- 6 - Polymer render wall
- 7 - Black brick details
- 8 - Sandstone effect concrete sill

Revision:

B 18.6.16 CEN
Updated layout for units 9 & 10.
A 16.12.16 CN
North Elevation - boundary wall to no 30 changed to render

1:100 @ A1



Residential Development at the former Gower Hotel, Gwennyth Street, Cathays - Cardiff
Project: **A097197 The Gower**

Location: 28 Gwynne Street, Cathays, Cardiff CF24 4PH

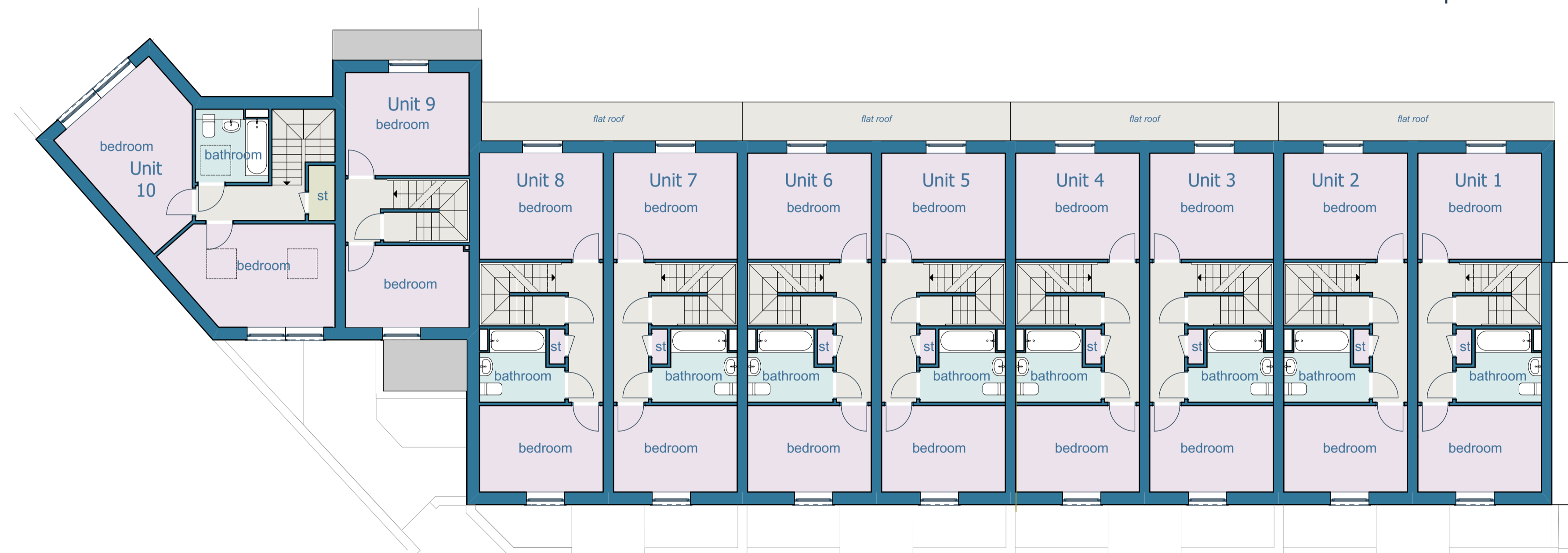
Client: Gower (Cathays) Ltd

Date: 27 June 2017

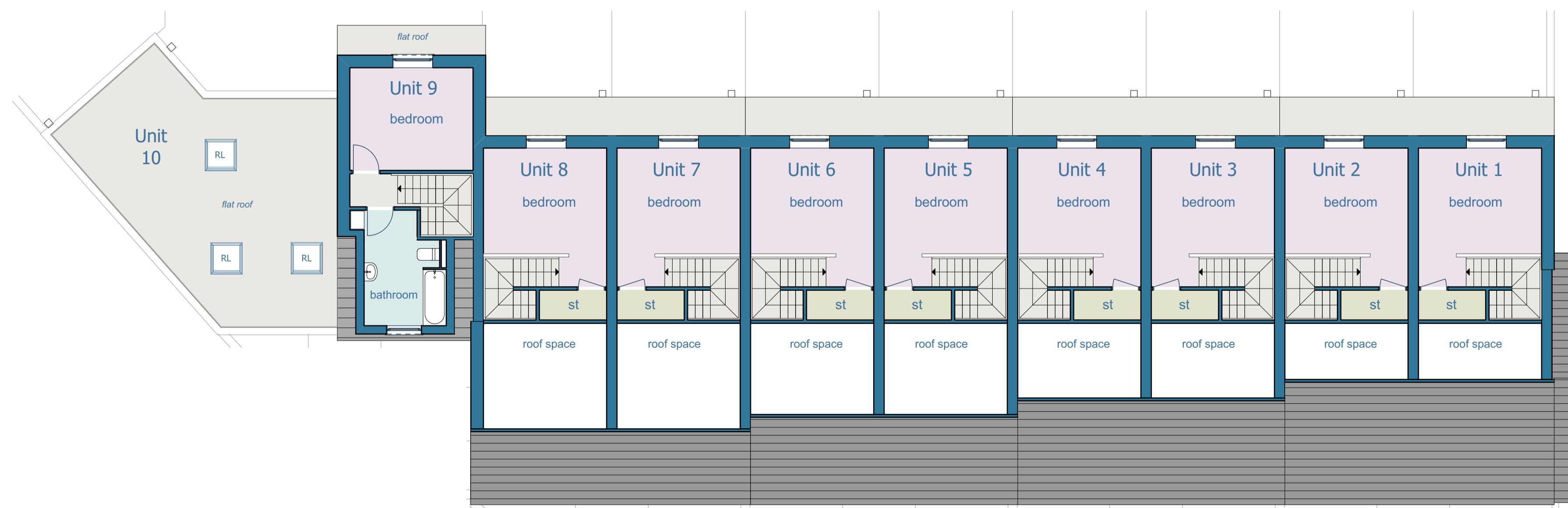
Drawing: DRG023 Rev.B Elevations



Ground floor plan 1:100



First floor plan 1:100



Second floor plan 1:100

Revision:
A 18.6.16 CEN
Updated layout for units 9 & 10.



1:100 @ A1
0 1m 5m
1:100

Residential Development at the former Gower Hotel, Gwennyth Street, Cathays - Cardiff

Project: A097197 The Gower

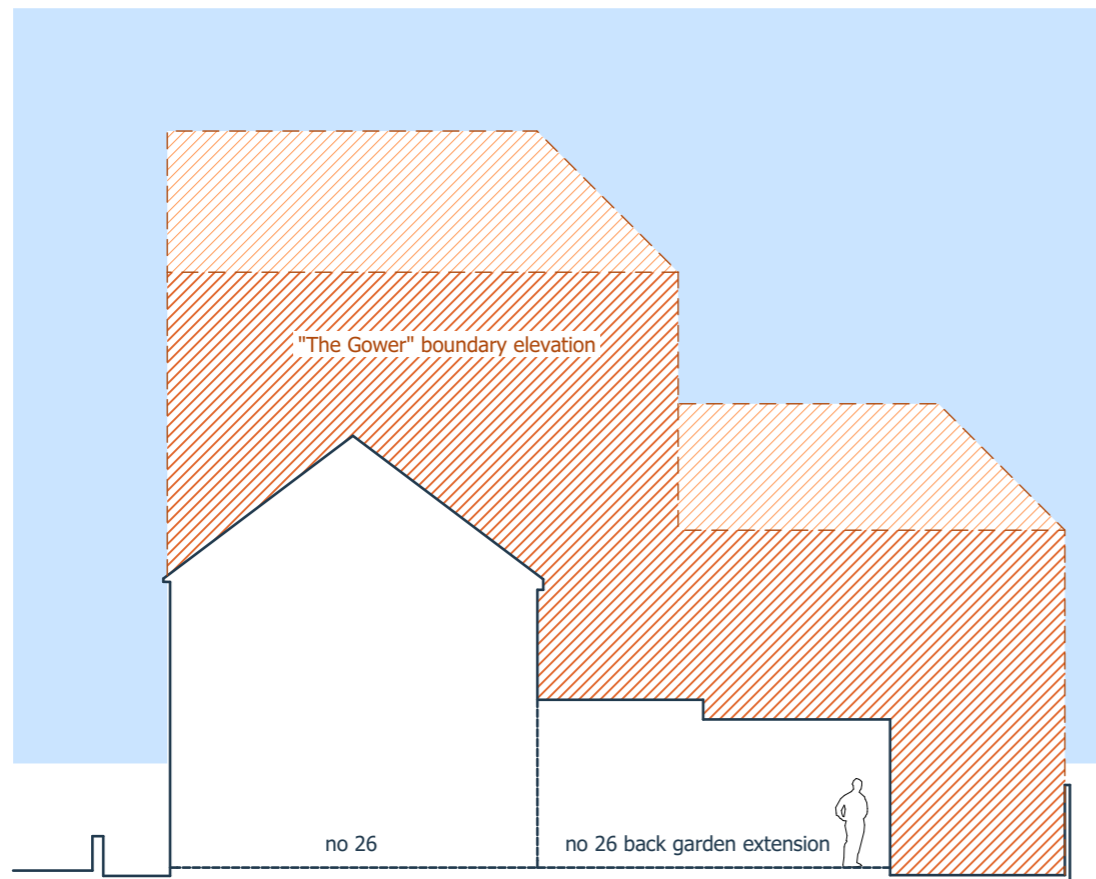
Location: 28 Gwynne Street, Cathays, Cardiff CF24 4PH

Client: Gower (Cathays) Ltd

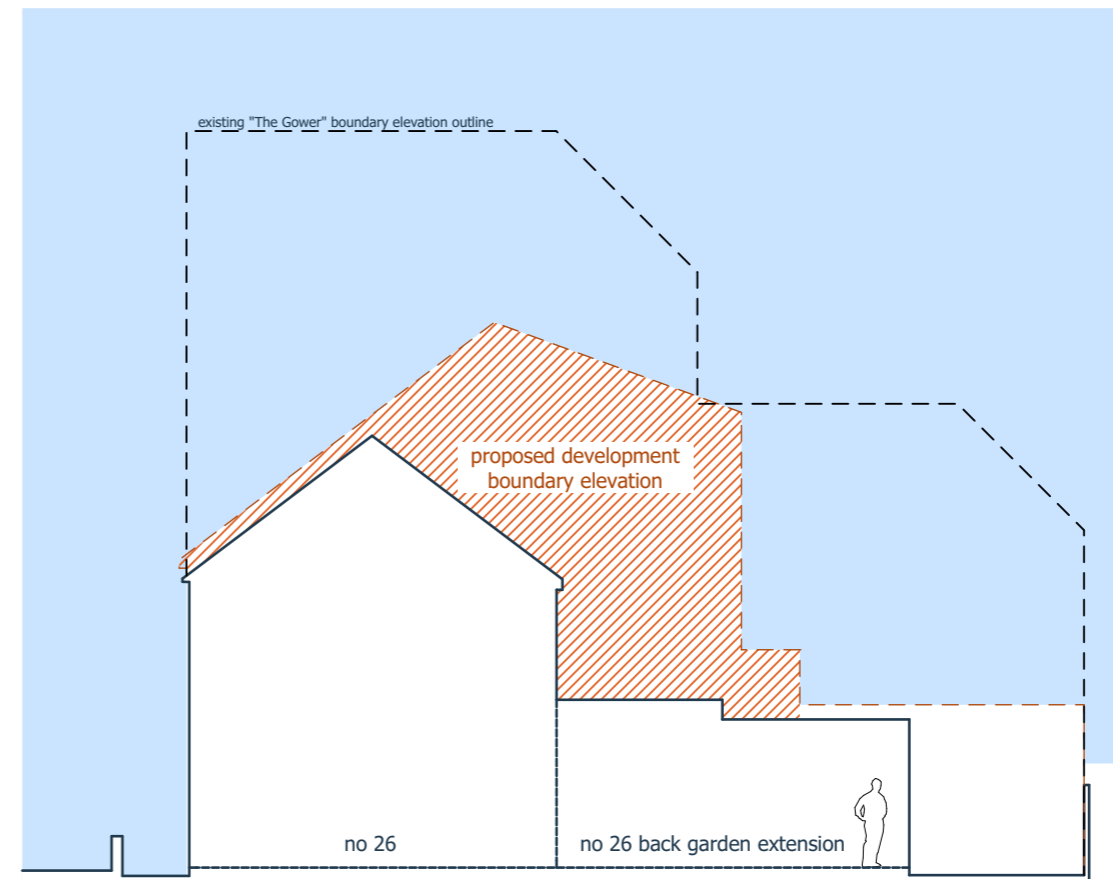
Date: 18 June 2017

Drawing: DRG022 Rev.A
Floor Plans

WYG Group
Floor 5, Langcross Court, 47 Newport Road
Cardiff CF24 0AD
Tel: +44(0)1222 2082 0000
email: planning.cardiff@wyg.com
www.wyg.com
WYG Environment Planning Transport Limited 2016



Schematic Section on #26 - existing boundary elevation - NTS



Schematic Section on #26 - proposed boundary elevation - NTS

Project: **A097197 The Gower**
Location: 28 Gwyneeth Street
Cathays, Cardiff CF24 4PH
Client: Gower (Cathays) Ltd
Date: 18 June 2017
Drawing: DRG007
No 26 boundary conditions
comparison

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COMMITTEE DATE: 12/07/2017

APPLICATION No. **17/00968/MJR** APPLICATION DATE: 03/05/2017

ED: **ELY**

APP: TYPE: Full Planning Permission

APPLICANT: Wates Residential

LOCATION: LAND TO THE SOUTH OF SNOWDEN ROAD AND EAST OF WILSON ROAD, ELY, CARDIFF

PROPOSAL: 8 NO. NEW AFFORDABLE HOUSES ON LAND TO THE SOUTH OF SNOWDEN ROAD AND 12 NO. NEW AFFORDABLE APARTMENTS ON LAND TO THE EAST OF WILSON ROAD, ELY, CARDIFF

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the applicant submitting a unilateral **SECTION 106** Agreement for 100% affordable housing on this site and the following conditions:

1. C01 Statutory Time Limit
2. This approval is in respect of the following plans and documents, unless otherwise amended by any other condition attached to this consent:- 3513_PA_001, 003B, 004, 100, 101, 102, 104, 200, 201, 300; TOHA/16/5232/5/LHJ; TDA.2034.02B and 3513-PA-202 Site Sections C-C.
Reason: To avoid doubt and confusion as to the approved plans.
3. Prior to development commencing on site details of top soil and subsoil specification, finalised tree pit section, planting methodology and aftercare methodology, and including a finalised arboricultural method statement shall be submitted to and approved by the Local Planning Authority and then implemented as approved.
Reason: In the interests of visual amenities and biodiversity.
4. Prior to the commencement of the development a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme shall ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

All work and submissions carried out for the purposes of this condition shall be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (2012), unless the Local Planning Authority agrees to any variation.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

5. The remediation scheme approved by condition 4 shall be fully undertaken in accordance with its terms prior to the occupation of any part of the development. The Local Planning Authority shall be given two weeks written notification of commencement of the remediation scheme works.

Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out shall be submitted to and approved in writing by the Local Planning Authority.

All work and submissions carried out for the purposes of this condition shall be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (2012), unless the Local Planning Authority agrees to any variation.

Reason : To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

6. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it shall be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment shall be undertaken and where remediation is necessary a remediation scheme and verification plan shall be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report shall be submitted to and approved in writing by the Local Planning Authority. The timescale for

the above actions shall be agreed with the Local Planning Authority within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to neighbours and other offsite receptor in accordance with policy EN13 of the Cardiff Local Development Plan.

7. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

8. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

9. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.
Reason: To ensure that the safety of future occupiers is not prejudiced in

accordance with policy EN13 of the Cardiff Local Development Plan.

10. Prior to the commencement of development a scheme of construction management shall be submitted to and approved by the Local Planning Authority, to include details of construction traffic routes, delivery times, site hoardings, site access, site compound, contractor parking, materials storage, measures for dust control and wheel washing facilities. Construction of the development shall be managed strictly in accordance with the scheme so approved.
Reason: In the interests of highway safety and public amenity.
11. No development shall commence until a drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall provide for the disposal of foul, surface and land water, and include an assessment of the potential to dispose of surface and land water by sustainable means. Thereafter the scheme shall be implemented in accordance with the approved details prior to the occupation of the development and no further foul water, surface water and land drainage shall be allowed to connect directly or indirectly with the public sewerage system.
Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.
12. The proposed development site is crossed by a public sewer the position of which shall be accurately located, marked out on site before works commence and no operational development shall be carried out within 3 metres either side of the centreline of the public sewer.
Reason: To safeguard the sewer in the interests of the amenities of surrounding residents.
13. No clearance of trees, bushes or shrubs to take place between 1st February and 15th August unless it can be demonstrated that there are no birds nesting in this vegetation immediately (48 hrs) before works commence.
Reason: To avoid disturbance to nesting birds which are protected under the Wildlife and Countryside Act 1981: Part 1, 1(1)(b), it is an offence to intentionally take, damage or destroy the nest of any wild bird while that nest is in use or being built.
14. Prior to work commencing on the approved dwellings details of the position of 1 x Bat box, 1 x Swift nest box, 1 x Swallow nest cup and 1 x House Martin double nest cups to be installed on the dwellings and a programme for their installation shall be submitted to and agreed in writing by the Local Planning Authority and then be installed as agreed.
Reason: In the interests of biodiversity.
15. Prior to work commencing on site a scheme for the translocation of slow worms from this site shall be submitted to and agreed in writing by the Local Planning Authority and then implemented as agreed

Reason: In the interests of biodiversity

16. D3D Maintenance of Parking Within Site
17. Prior to the commencement of the development, a scheme of highway improvements including, but not restricted to; the reconstruction of the frontage footways, minor realignment of the kerblines at the junction of Snowden Road/Wilson Road, and improvements to existing street lighting shall be submitted to the Local Planning Authority for approval. The approved scheme shall be implemented prior to beneficial occupation of the new dwellings.
Reason: In the interests of highway safety.
18. Notwithstanding drawing TDA.2034.02 B the Magnolia Kobus trees west of unit 9 and south east of unit 16 (unit numbers specified on drawing 3513_PA_003B) shall be substituted by either Malus baccata "Street Parade" or "Malus "Evereste" species of trees.
Reason: The originally proposed tree species may be compromised in this location and the alternative tree species are likely to be more successful and contribute to the visual amenities of the area.

RECOMMENDATION 2: The applicant is advised to have due regard to the Advisory notes provided by consultees.

RECOMMENDATION 3: The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for (i) determining the extent and effects of such constraints; (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;

- Unprocessed / unsorted demolition wastes.

Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.

- Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and (iii) the safe development and secure occupancy of the site rests with the developer. Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4: Prior to the commencement of development, the developer shall notify the Local Planning Authority of the commencement of development, and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management Procedure)(Wales)(Amendment) Order 2016.

RECOMMENDATION 5: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

1. DESCRIPTION OF DEVELOPMENT

- 1.1 The proposal is for full planning permission for affordable residential development on this site. This would comprise 8 houses and 12 apartments. The houses would comprise 2 terraces of 4 units on the southern side of Snowden Road. 6 of the terraced dwellings would accommodate two bedrooms each and 2 would accommodate 3 bedrooms. 3 blocks of apartments are proposed each containing 4 one bedroom units. 2 of the apartment blocks are on the north side of Courtis Road and the third apartment block is on the southern side of the Wilson Road/Stanway Road junction. The apartment blocks would look like semi-detached houses.
- 1.2 The buildings would all be two storey, have pitched roofs finished in grey tiles with walls in red multi gilt stock with Staffordshire smooth red banding every third course.
- 1.3 12 car parking spaces are proposed for the 8 houses. 12 car parking spaces are proposed for the apartments. The houses will have individual parking spaces, the apartments in Courtis Road will have parking spaces directly off the highway and the northern apartment block will have 4 parking spaces in a group with a new single access off Wilson Road.
- 1.4 The proposed residential units are of similar styles to existing properties in the immediate neighbourhood.

2 DESCRIPTION OF SITE

- 2.1 The site is 0.48 ha in area. The site comprises two parcels of land separated by Wilson Road. One parcel is roughly rectangular with a frontage of 75m to Snowden Road and an average depth of 26m. The other parcel of land is triangular in shape extending from Courtis Road to Stanway Road. The site has a frontage of some 70m to Wilson Road.

- 2.2 Both sites slope downwards from north to south and retaining walls will be required within the site due to the difference in levels.
- 2.3 There a number of services that cross the site and their easements have to be protected. The sites are currently vacant and surrounded by existing residential development.

3 **SITE HISTORY**

- 3.1 Since 1997 the only application on any part of the site was for the demolition of 4 shops south of Snowden Road approved 25/5/04 (ref 04/00988/W).

4 **POLICY FRAMEWORK**

- 4.1 It is considered that the following LDP policies are relevant to this application:- KP5, KP7, KP13, EN6, EN13, T1, C5 and W2

5. **INTERNAL CONSULTATIONS**

- 5.1 The Parks Officer states:
Given that the gardens/courtyards to the affordable flats, and incidental open spaces, will be maintained by Cardiff Council, maintenance of these will need to be financed either through a commuted sum, or through a service level agreement with Housing.

With regard to the landscape scheme submitted I have made a number of comments below and also forwarded the scheme to my colleague Mark Cummings Parks Western Grounds Maintenance Manager for his comments as it is critical that he is involved in discussions on the landscape element, in order to ensure the design can be easily maintained. Once the scheme is approved Parks will need to approve works on site and at handover stage following completion of the initial 12 month maintenance period.

Comments on Detailed Soft Landscape Proposals – see attached plan for numbering

1. Triangular area on Snowden Road / Wilson Road

The relatively small space is surrounded with an *Eleagnus ebbingei* hedge, which is vigorous and grows tall. This has a number of potential consequences.

- a) Likely to overgrow footpath unless regularly cut
- b) Creates a very enclosed space largely hidden from view, making it likely to attract anti-social behaviour and increase feeling of insecurity for people using surrounding footpaths.
- c) obstructs views along the street

Tree species is okay but positions shown will look unusual on the ground.

Bulb planting species will need to be checked with grounds maintenance manager

Suggestion : triangular area is made much more open, with one large tree or the existing Acers planted in a group of three (outside service easement), and naturalised bulb planting or wildflower meadow with regularly mown edge – to be confirmed following further discussions with Grounds Maintenance District Manager.

2 Verge and hedge

Confirmation needed on responsibility for maintenance. Question whether meadow grass is used up to edge of footpath - to be confirmed following further discussions with Grounds Maintenance District Manager.

3 Bank Area

The embankment amenity area is of relatively steep gradient due to the slope of the site, varying between 1 in 3 to 1 in 5. As indicated on the drawings this will be wildflower meadow, cut once or twice a year. There are a number of issues that need to be addressed :

a) How will maintenance machinery access the area?

b) Although the wildflower mix is a basic general purpose meadow mix, the soil conditions for this to grow successfully need to be correct (low fertility without perennial weeds), so the landscape architects will need to liaise with the soil scientist and contractor to ensure the two are compatible. Wildflower meadow mixes used on topsoil are generally unsuccessful unless they include significant yellow rattle to lower nutrient levels (which this mix doesn't).

c) The plan illustrates a dashed black line along the bottom of the bank, with a narrow strip of grass along the bottom next to the paved areas – I need confirmation on what this line represents.

d) Trees on embankment – the trees shown on the bank have the potential to grow very large and cause shading of properties

Quercus palustris 12 x 8m, potentially up to 20 x 12m long term

Liriodendron tulipifera can grow up to 30 x 12m

I would recommend reviewing the number of trees and species or consulting with Ed Baker.

e) Hedging – although use of hedges will create an attractive boundary I'll need to consult with the Grounds Maintenance District Manager on any maintenance issues.

4 Miscellaneous areas

- There are 3 areas of grass 4a, 4b, 4c containing trees, so I need to confirm responsibility for maintenance of these.
- The fence shown between existing properties and the new flats is 1.8m mesh with concrete posts which although reasonably secure and allowing views through doesn't provide an attractive solution.

It would be valuable to have a plan showing responsibility for privately managed areas, and Council managed areas, and the proposed contours shown on the landscape plan.

Open Space Provision

These comments relate to the current LDP (C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport; KP16 Green Infrastructure), and the 2017 Planning Obligations Supplementary Planning Guidance (SPG), supported by policies set out in the 2008 SPG for Open Space which set the Council's approach to open space provision.

The Council's LDP requires provision of a satisfactory level and standard of open space on all new housing/student developments, or an off-site contribution towards existing open space for smaller scale developments where new on-site provision is not applicable.

The Parks Officer originally requested a financial contribution for off-site POS but in view of the Project Manager for the Housing Department's explanation of the viability issues in Section 5.9 he does not wish to jeopardise the development by pursuing a contribution.

(A copy of the amended layout and landscaping plan has been forwarded to the Parks Officer for any further comments he may wish to make.)

- 5.2 The Neighbourhood Services Officer requests a noise advisory (see recommendation 5 above).
- 5.3 The Waste Officer has provided her standard advice (which has been forwarded to the applicant).
- 5.4 The Contamination Team recommend six conditions and an advisory note (see conditions 4-9 and Recommendation 3 above).
- 5.5 The Tree Officer states :
The Soil Resource Survey (SRS) and Plan (SRP) demonstrate that subject to soil handling, amelioration and placement in accordance with the SRP, there is a significant volume of re-useable soil for landscaping purposes at this site. It would be expedient to make use of as much of this as possible, but I note reference in the SRS and SRP to a Terrafirma report that has identified high lead levels for soils in part of the site and the presence of sharps, that may preclude re-use of affected soils for garden and 'communal' areas. In effect, this may preclude re-use of all site won topsoil.... Consequently, I am unclear what the overall strategy is for landscaping soils (topsoil and subsoil).

Assuming that soils are re-used in accordance with the SRP, there will still need to be some soil importation. The landscaping specification needs to include much more detail on this in line with the generic topsoil specification included within the SRP. A soiling plan would be helpful to show where soil will be wholly imported (topsoil and subsoil), partially imported (imported topsoil over

ameliorated in situ or site won subsoil) and site won (re-used and in-situ).

If tree planting uses site won topsoil over imported subsoil, then the proposed species will require amendment to reflect the nature of the topsoil resource. The palette in this circumstance should comprise *Acer campestre* 'Streetwise', *Crataegus x prunifolia* 'Splendens' and *Gleditsia triacanthos* 'Imperial' or 'Draves Street Keeper'. The proposed *Acer campestre* 'Streetwise' abutting Snowden Road should be replaced by a *Gleditsia triacanthos* 'Imperial' or 'Draves Street Keeper', the three *Magnolia kobus* on the south-eastern, south-western and north-eastern corners of the Curtis Road site substituted by *Crataegus x prunifolia* 'Splendens', the two *Quercus petraea* and one *Liriodendron tulipifera* in the wildflower open space on the Curtis Road site substituted by three *Gleditsia triacanthos* 'Imperial' or 'Draves Street Keeper' and the single *Magnolia kobus* at the western end of this wildflower open space substituted by a *Crataegus x prunifolia* 'Splendens'.

If tree planting soils are imported and comprise slightly acidic sandy loams as described in the landscaping specification, then the palette should be *Magnolia kobus*, *Quercus petraea* and *Acer buergerianum*.

The *Magnolia kobus* should remain as proposed but with an additional one to substitute the *Liriodendron* proposed at the western end of the Curtis Road wildflower open space (this will work well with the *Magnolia* to the NW and minimise mutual suppression problems that would be a medium term risk with *Liriodendron* and *Quercus petraea* planted so close). The *Liriodendron* between two *Quercus petraea* in this wildflower open area should be deleted to avoid mutual suppression problems in the medium term. The three *Acer campestre* 'Streetwise' should be replaced by *Acer buergerianum*.

A detailed tree pit section is required and the specification (and section) need to make clear that any non-biodegradable root-ball wrappings will be removed on planting, and biodegradable wrappings removed or cut and peeled back to minimum one-third root-ball height. The planting plan makes reference to Reroot barriers – the precise type and location should be clear, and they must only be used where absolutely necessary and in positions that maximise root available soil.

Reviewing drainage drawings I am concerned that there is some conflict with planting beds. In particular, the south eastern and south-western most *Magnolia kobus* on the Curtis Road side may be compromised. The drainage layout should be designed to avoid or minimise incursions into soft landscape beds, particularly those that will support trees.

b) Following receipt of an amended plan and the Tree Officer states:

My only observation is that since the trees rather than drainage have moved, the more constrained amended positions for the two *Magnolia kobus* are better suited to a smaller tree species. I suggest as a consequence that they are substituted by *Malus baccata* 'Street Parade' or *Malus* 'Evereste'

5.6 Shared Regulatory Services states:

a) I have examined the submitted documentation in support of planning

application 17/00969/MJR from an Air Quality perspective. Examining the proposed plans I am satisfied that little risk is placed upon future residents and nearby residents in terms of traffic derived emissions.

Reviewing the application from a dust emissions perspective, due to the close proximity of residential dwellings to the proposed development it is considered best practise to adopt the principles stipulated in IAQM "Guidance on the assessment of dust from demolition and construction." The guidance provides a risk based approach based on the potential dust emission magnitude of the site (small, medium or large) and the sensitivity of the area to dust effects. The importance of professional judgment is noted throughout the guidance. The guidance recommends that once the risk class of the site has identified, the appropriate level of mitigation measures are implemented to ensure that the construction activities have no significant impacts. In accordance with the guidance, Chapter 6, Step 1, Box 1 highlights certain screening criteria which needs to be considered and if a development qualifies for an assessment. The document states "An assessment will normally be required where there is: a 'human receptor' within: - 350 m of the boundary of the site; or- 50 m of the route(s) used by construction vehicles on the public highway, up to 500 m from the site entrance(s)." It is apparent that there are residential dwellings located in close proximity to the proposed site (<25m), therefore satisfying the 'human receptor' criteria stipulated in the cited guidance and the need for a detailed dust assessment to be produced.

I would ask for the following condition to be implemented;

Unless otherwise agreed with the LPA, the applicant is required to undertake a detailed dust assessment which shall quantify the magnitude of risk to surrounding/ nearby sensitive receptors, this being the various residential properties located within 350m to the site boundary, during the demolition and construction phase of the development. Prior to the commencement of development a scheme (Construction Environmental Management Plan) to minimise dust emissions arising from construction activities on the site shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of dust suppression measures and the methods to monitor emissions of dust arising from the development. The construction phase shall be implemented in accordance with the approved scheme, with the approved dust suppression measures being maintained in a fully functional condition for the duration of the construction phase.

Reason: To assess air quality and agree any mitigation measures that may be required to safeguard the amenity of nearby residents in the area.

And subsequently advised the applicant that:

b) It is understood that the Construction Environmental Management Plan for the proposed development would include reference to dust impacts and measures of control. However, it is good practise to quantify the magnitude of risk to surrounding/ nearby sensitive receptors, this being the various residential properties located within 350m to the site boundary, during the demolition and construction phase of the development. You should look to adopt the technique highlighted in 'Guidance on the assessment of dust

from demolition and construction' (2014). The guidance provides a risk based approach based on the potential dust emission magnitude of the site (small, medium or large) and the sensitivity of the area to dust effects. The importance of professional judgment is noted throughout the guidance. The guidance recommends that once the risk class of the site has identified, the appropriate level of mitigation measures are implemented to ensure that the construction activities have no significant impacts.

Appropriate mitigation measures will be included within the Construction Management Plan to ensure the low risks identified below are appropriately managed and mitigated. The contractor will also sign up to the Considerate Constructors Scheme and promote best practice as part of this initiative.

The medium risk associated with trackout relates to limited time periods where more than 10 HDV movements in a day will be required. Such periods will be limited and the contractor will seek to restrict vehicle movements as much as possible by being efficient in the use of materials and delivery methods. Site deliveries will be managed to be outside the times that the school will be active for pupil drop off and collection

5.7 The Ecologist states:

I have considered the Extended Phase 1 Habitat and Species Assessment revised September 2014 and the Ecological Survey Report for Reptiles of June 2016, both provided by Just Mammals Consultancy LLP. I largely agree with the methodology, results and conclusions of these reports.

Slow-worms have been detected at this site, and this species is protected by the Wildlife and Countryside Act 1981 (as amended). In order to comply with this legislation, those undertaking any works at this site will have to demonstrate that they have made reasonable efforts to avoid harm to these animals. In this respect I do not support any suggestion in section 9 of the Survey Report for Reptiles that Slow-worms can be retained on site during construction. In my view the site is too constrained to allow any meaningful retention of Slow-worm habitat throughout the construction process. That is not to say that landscaping around the eventual construction cannot be made suitable for this species, and a landscaping scheme should provide for some rough grassland habitat that can be colonised by Slow-worms in the future.

Instead, a translocation of Slow-worms to a suitable receptor site is much more likely to be successful. However, receptor site in Cardiff are difficult to come by, and Cardiff Council cannot necessarily be expected to provide such sites. Where a translocation takes place, I would expect it to accord with guidance provided by the UK Government on its website.

In relation to birds, there is likely to be nesting activity in the scrub and other vegetation on site, so we should attach our usual nesting bird condition.

I would not say that there are any other likely significant effects upon nature conservation issues at this site. However, mindful of our duty under the Environment (Wales) Act 2016 to seek to maintain and enhance biodiversity in

the exercise of our functions, we should seek to secure biodiversity enhancements at this site.

I suggest the following measures:

Areas of amenity grassland outside of private / communal gardens should be sown with a wildflower seed mix and earmarked for future management with two cuts a year, in spring and in autumn, with arisings removed from the site.

Bat and bird boxes should be incorporated into new buildings in broad accordance with the advice given in the TCPA's 'Biodiversity Positive: Eco-towns Biodiversity Worksheet 2009', and in the Bat Conservation Trust's 'Biodiversity for Low and Zero Carbon Buildings: A Technical Guide for New Build 2010'. With a small development such as this, I would say that an appropriate level of enhancement would be :

- 1 x Bat box
- 1 x Swift nest box
- 1 x Swallow nest cup
- 1 x House Martin double nest cups

The applicant's ecologist can advise of the model and installation of these features.

5.8 The Highway Officer states:

No objection subject to conditions relating to retention of parking (D3D) and, prior to the commencement of the development, the submission to the LPA for approval of a scheme of highway improvements including, but not restricted to; the reconstruction of the frontage footways, minor realignment of the kerblines at the junction of Snowden Road/Wilson Road, and improvements to existing street lighting/drainage etc. The approved works to be implemented prior to beneficial occupation of the new dwellings.

I'd also suggest a second recommendation advising the applicant that the above works will be subject to an agreement under Section 278 of the Highways Act 1980. (A copy of this response has been forwarded to the applicant).

5.9 The Project Manager for the Housing Department states :

This site is a 100% affordable site and delivers the energy performance and high quality design aspirations we are trying to achieve for the whole of the HPP. The site is challenging for different reasons, levels and drainage are particularly problematic. This site has significant abnormal costs not identified at final tender stage.

When compared against a typical set of benchmarks that a development would need to pass, then this site would not be deemed financially viable. The key driver for making the HPP a success is not just about making it perform like any other development but to ensure it achieves its specific added value goals and

maximising the delivery of affordable housing.

However, the partnership had not foreseen the excessive additional costs from all sites due to design and ground factors which make many sites even less viable and unacceptable to ourselves. Steps have to be taken to minimise this in every way, so as to ensure the developments can continue. We have, and continue to undertake detailed value engineering exercises with all parties in minimising the effects from ground and design.

These changes have resulted in this site along with others in Phase 1 becoming un-viable. The overall land values of the Phase 1 sites have been greatly reduced and in most cases eliminated. This has a significant impact on the cross-funding module that the HPP is aiming to achieve.

The Snowdon and Wilson Road site is 100% affordable so do not depend on a land receipt but due to the additional costs as a result of the unforeseen items identified above the overall estimated costs to ourselves has increased by £977,000 on Snowdon / Wilson Road since final tender.

The cost to the Council of building 20 units on Snowdon and Wilson is now £3,382,645 equating to £169,132 a unit.

We have reviewed the overall contribution towards Section 106 obligations after known and estimated commuted sums and assessed what the scheme is able to afford and maintain viability. Our offer is set out below:

1) Section 106 Offer - Snowdon and Wilson

The Development does not deliver value for money, and therefore is unable to make any monetary S106 contribution, and will have to bear the other associated costs of (Please note these are estimates only and not deemed to be included within the S106):

- Commuted Sums which have been estimated as £Nil.
- Costs associated in executing the S106 Agreement (Council Legal Fees for Drafting Agreement) £5,000
- And an Affordable Housing Provision of 100%. This represents the maximum provision of affordable housing.
- This leaves a balance for S106 of £Nil

We trust the above clearly sets out the case of viability and our reasons behind the overall offer to ensure the Programme's success and our explanation demonstrates that this is a very different Development / Programme *which will be taken into account when deliberating this matter.*

6. EXTERNAL CONSULTATIONS

6.1 GGAT has no objection

6.2 Wales and West Utilities has submitted a plan identify their apparatus at the entrance to the site. The developer must not built over their apparatus and

advise that the developer is required to contact them to discuss requirements before development commences.

6.3 NRW does not consider that this proposal affects their interests.

6.4 Welsh Water states:

If percolation tests prove that soakaways are not conducive on this site then the total discharge from the site shall not exceed a Greenfield Runoff Rate and the number of direct connections to the public sewer limited to one per site.

The proposed development site is crossed by a public sewer The position shall be accurately located, marked out on site before works commence and no operational development shall be carried out within 3 metres either side of the centreline of the public sewer.

A water supply can be made available to serve this proposed development. The developer may be required to contribute, under Sections 40 - 41 of the Water Industry Act 1991, towards the provision of new off-site and/or on-site watermains and associated infrastructure. The level of contribution can be calculated upon receipt of detailed site layout plans which should be sent to the address above.

It is suggested that a condition be imposed and advisories brought to the attention of the applicant.

6.5 South Wales Police state

I can confirm that South Wales Police have no objection and as outlined in Design and Access statement have been engaged with project with regards to pre-application discussions. South Wales Police understand that the development will be built to Secure by Design standards and therefore have no concerns regarding any community issues

7 **REPRESENTATIONS**

7.1 Local Members have been consulted and no representations have been received to date.

7.2 The proposal was advertised by site notices.

7.3 Neighbouring occupiers were consulted by letter. No representations have been received to date.

8 **ANALYSIS**

8.1 The provision of 20 affordable dwellings is to be welcomed. Nevertheless the impact of the development on the amenities of occupiers of surrounding properties, the appearance of the area and other matters such as ecology and landscaping needs to be carefully considered.

- 8.2 The design and type of units proposed are reflective of the existing properties in the immediate neighbourhood and as such the scheme is considered to be in character with the local area. The units are set back sufficient distances from surrounding dwellings and have sufficient private and communal amenity areas so as to comply with the Council's SPG.
- 8.3 In terms of access arrangements the Highway Officer has no objections.
- 8.4 The site is in a sustainable location within the built up area of Cardiff. There are three primary schools some 250m from the site. There are two blocks of local shops within 300m of the site. There is a bus route along Snowden Road, with bus stops adjoining the site and a bus route along Grand Avenue.
- 8.5 The applicant considers that the site has a low ecological value. However, the Council's ecologist has identified a number of issues. It is considered that these issues can be satisfactorily addressed by conditions 12-15.
- 8.6 The Contamination Officer and Shared Regulatory Services comments are addressed by proposed conditions in the Recommendation. Welsh Water's proposed conditions are included in the Recommendation and their advisories have been forwarded to the applicant.
- 8.7 The applicant in response to the issues raised by the Parks and Tree Officers states inter alia that:

1.1. Triangular area on Snowden Road / Wilson Road

We feel that the proposal of planting a wildflower meadow area here will serve to attract litter and become unkempt very quickly. As an alternative, we would propose to grass this area and plant one tree, outside of the drainage easement area.

1.2. Verge and hedge

As above, we feel that meadow planting in this location will quickly fill with detritus and be to the detriment of the area. If hedgerow planting is undesirable we can remove this and propose this is laid to grass.

1.3. Bank Area

- a. The wildflower areas are to be seeded with Emorsgate EM1 - General Purpose Meadow Mixture and will be sown into subsoil in accordance with the supplier's guidelines. Due to the slope of the bank this area should be maintained using a strimmer.
- b. The dashed line just marks the transition from wildflower to grass.
- c. Tree species have been amended following comments from Ed Baker.

1.4. Miscellaneous areas

The areas mentioned are to be maintained by CCC Housing.

A management plan denoting the responsibility for maintenance of these areas was submitted with our application.

Regarding the comment concerning the 'mesh fence' we have indicated on the site layout drawing that this would be removed and replaced with a close boarded fence.

2. Although the above response superseded the earlier response from the Tree Officer we have covered a number of the points included in this as noted below;

2.1. Areas that will have proposed tree planting will receive the appropriate imported topsoil and subsoil.

2.2. Tree species have been amended or removed as suggested.

2.3. Tree locations have been amended to avoid clashes with drainage proposals.

2.4. Tree rootball wrapping proposals have been amended to accommodate Ed Baker's comment and a tree pit detail provided accordingly.

2.5. The information relating to the type and location of the root barriers is stated on the landscape proposal drawing.

3. The updated site layout plan shows the boundary treatment to Wilson Road as a brick wall not a fence and the boundary to the west of plots 9 & 10 as a railing not a fence beyond the cycle store.

4. We have removed the windows to plots 11 / 12 & 13 / 14, as suggested.

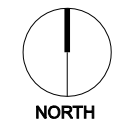
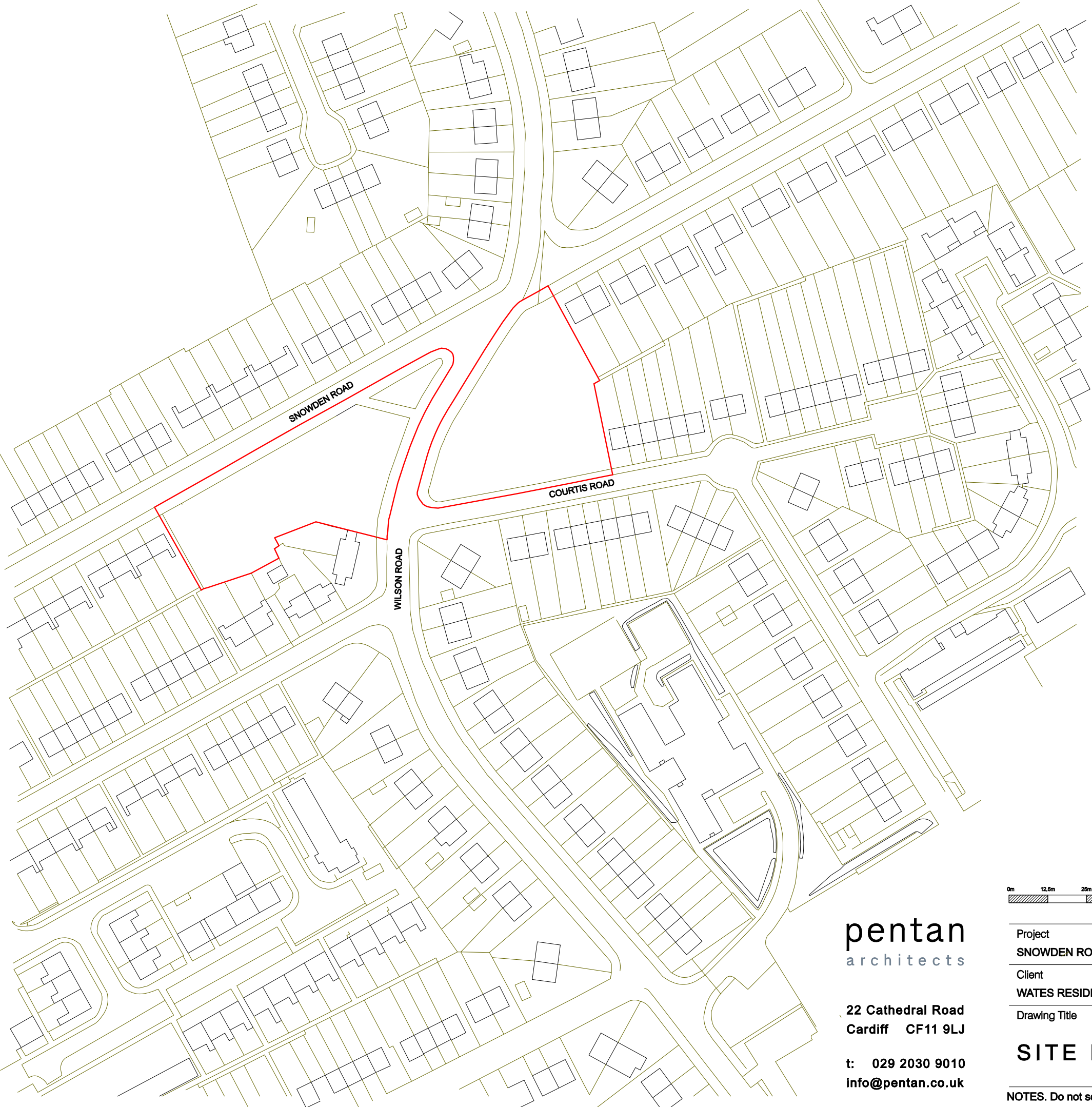
8.8 It is considered that the response from the applicant more or less satisfactorily addresses landscaping, means of enclosure and privacy between proposed dwelling concerns raised during the processing of the application, subject to conditions 3 and 18. The use of a brick wall to screen a private garden from the adjoining highway is an improvement on the original scheme as fencing will weather and its' appearance deteriorate over time in this prominent position. The removal of the secondary facing windows to habitable rooms will safeguard privacy for future occupants of units 11-14.

8.9 In view of the Housing Officer's explanation detailed in paragraph 5.8 it is not possible to require a Section 106 contribution for off-site POS in this particular case.

8.10 Well-Being of Future Generations Act 2016 - Section 3 of this Act imposes a

duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

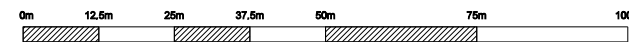
- 8.11 The proposal is considered to comply with the policies of the LDP and be acceptable in planning terms subject to conditions and a unilateral undertaking to ensure the provision of 100% affordable housing on this site. No objections have been received and the issues raised during the processing of the application have been addressed by amendments to the scheme by the applicant or can be addressed by conditions. The responsibility for managing maintenance will be a matter for the Parks and Housing Department to determine as a separate issue from this planning application. It is regrettable that there is not sufficient viability in the scheme to contribute to off-site POS. The proposal will make a positive contribution towards the provision of affordable housing in Cardiff.



NORTH

— SITE BOUNDARY

SITE AREA 0.48 (hectares)



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Project
SNOWDEN ROAD & WILSON ROAD

Client
WATES RESIDENTIAL

Drawing Title

SITE LOCATION PLAN

NOTES. Do not scale. All dimensions are in millimetres unless stated otherwise

Date
APR '17

Scale
1:1250 @ A3

Drawing No.
3 5 1 3 _ P A _ 0 0 1

Rev.

-

KEY

BOUNDARY TYPES

Note: Existing boundary treatments to be retained where suitable and replaced where necessary.

- - - Site boundary.
- Boundary Type 1:- 2100mm brickwork wall to boundaries to public open spaces.
- - - 2100mm metal railings.
- - - 1200mm high post and rail fence / ballustrade
- - - 1800mm close boarded fencing.
- - - 2100mm close boarded fencing.
- - - 1800mm close boarded fencing on top of brick retaining wall.
- - - 1100mm high close boarded fencing.
- - - Max 600mm high brickwork retaining wall

SYMBOLS

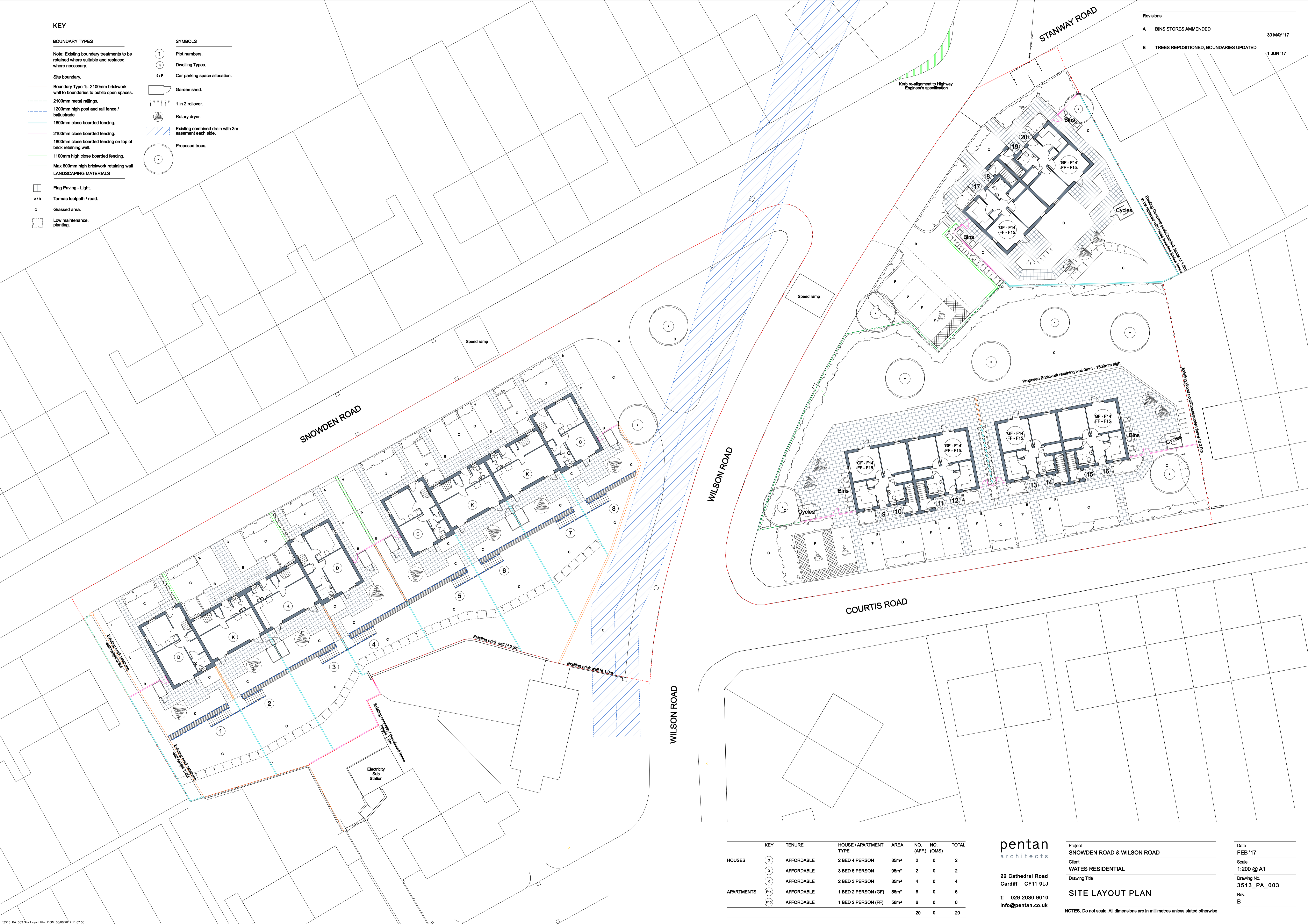
- ① Plot numbers.
- Ⓚ Dwelling Types.
- S/P Car parking space allocation.
- Garden shed.
- ||||| 1 in 2 rollover.
- ⊙ Rotary dryer.
- ⊕ Existing combined drain with 3m easement each side.
- ⊙ Proposed trees.

LANDSCAPING MATERIALS

- Flag Paving - Light.
- A/B Tarmac footpath / road.
- c Grassed area.
- Low maintenance planting.

Revisions

- A BINS STORES AMENDED 30 MAY '17
- B TREES REPOSITIONED, BOUNDARIES UPDATED 1 JUN '17



KEY	TENURE	HOUSE / APARTMENT TYPE	AREA	NO. (AFF.)	NO. (OMS)	TOTAL
C	AFFORDABLE	2 BED 4 PERSON	85m ²	2	0	2
D	AFFORDABLE	3 BED 5 PERSON	95m ²	2	0	2
K	AFFORDABLE	2 BED 3 PERSON	85m ²	4	0	4
F14	AFFORDABLE	1 BED 2 PERSON (GF)	58m ²	6	0	6
F16	AFFORDABLE	1 BED 2 PERSON (FF)	58m ²	6	0	6
				20	0	20

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Drawing Title
SITE LAYOUT PLAN

NOTES: Do not scale. All dimensions are in millimetres unless stated otherwise

Date
FEB '17

Scale
1:200 @ A1

Drawing No.
3513_PA_003

Rev.
B



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Project
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Drawing Title

STREET ELEVATIONS COLOURED

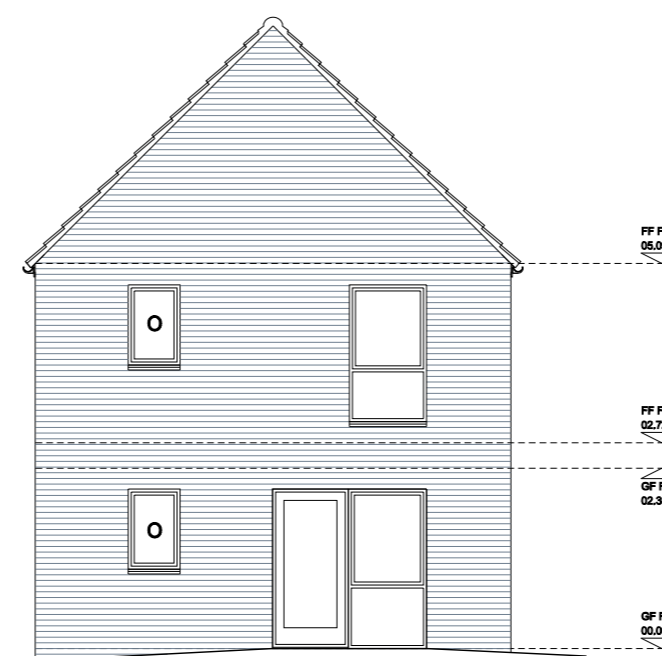
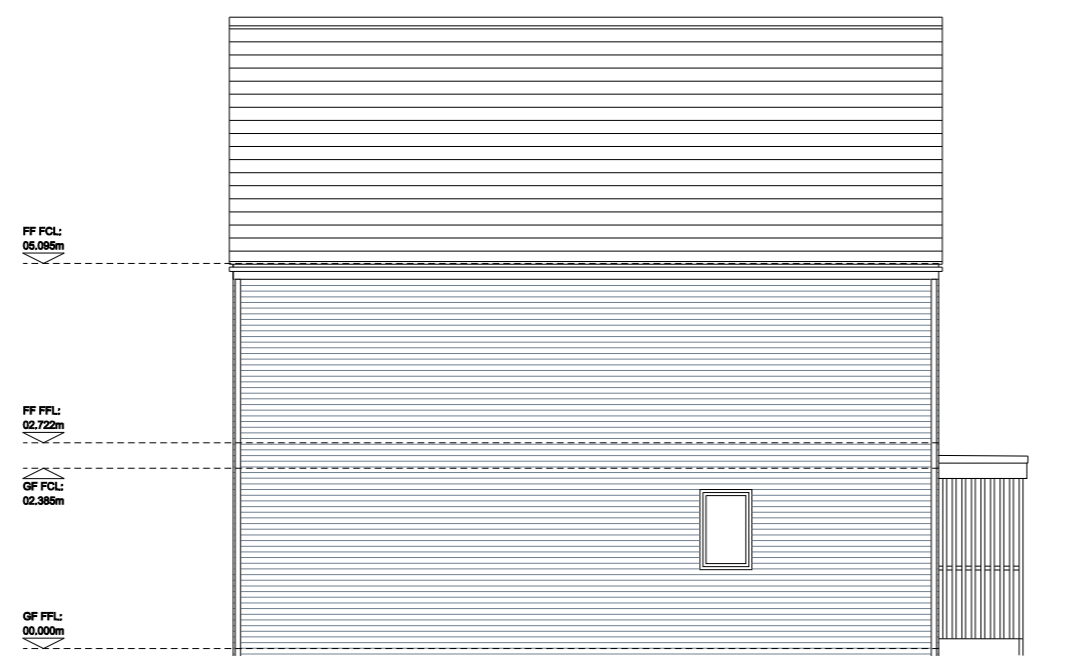
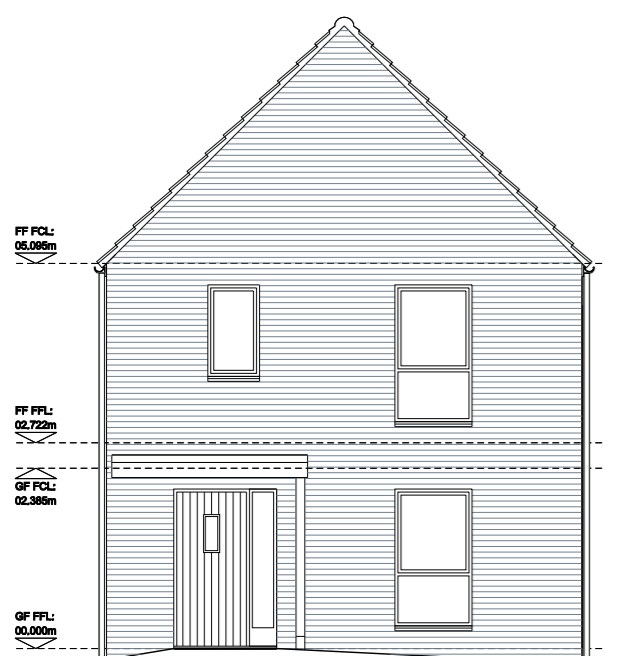
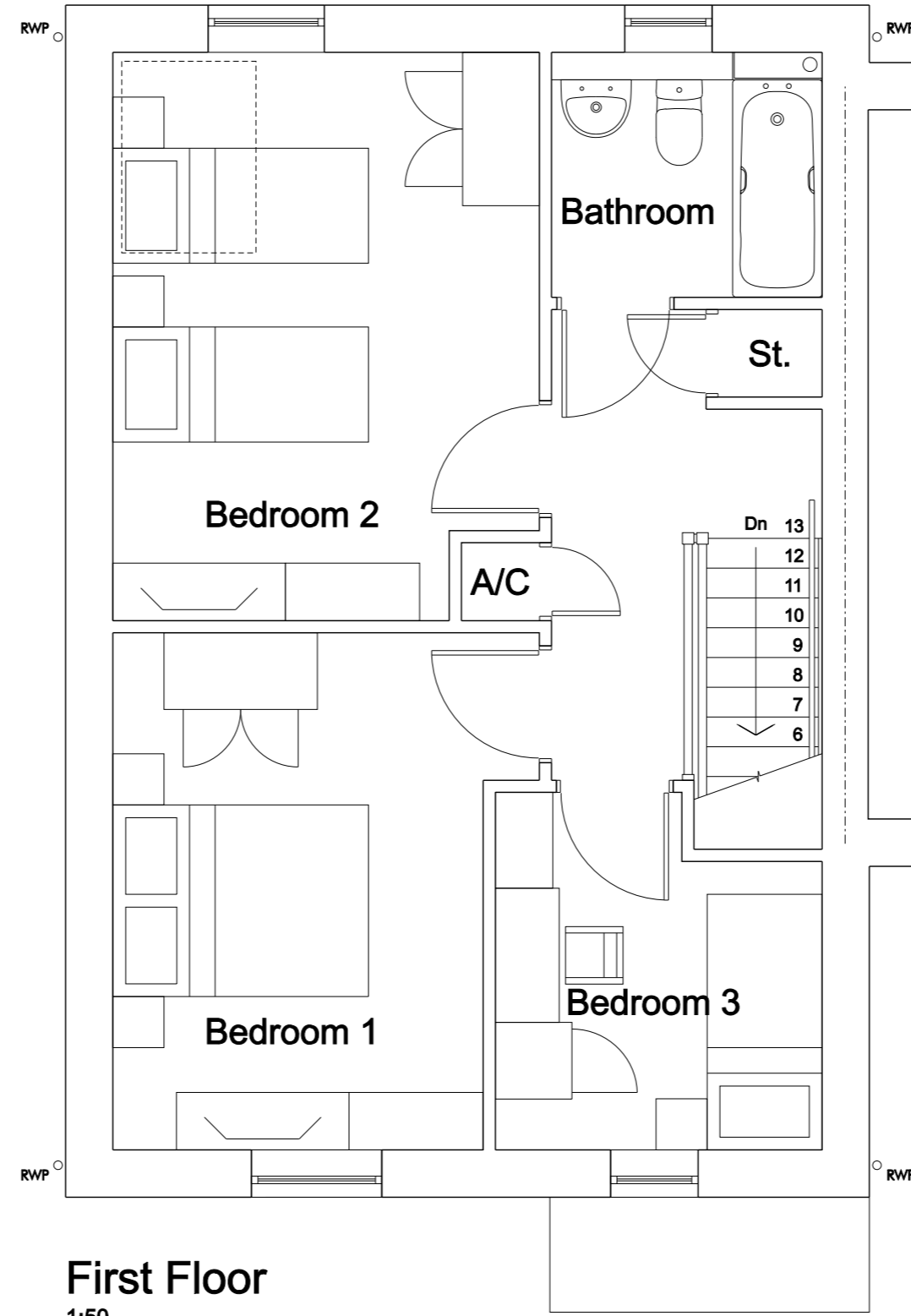
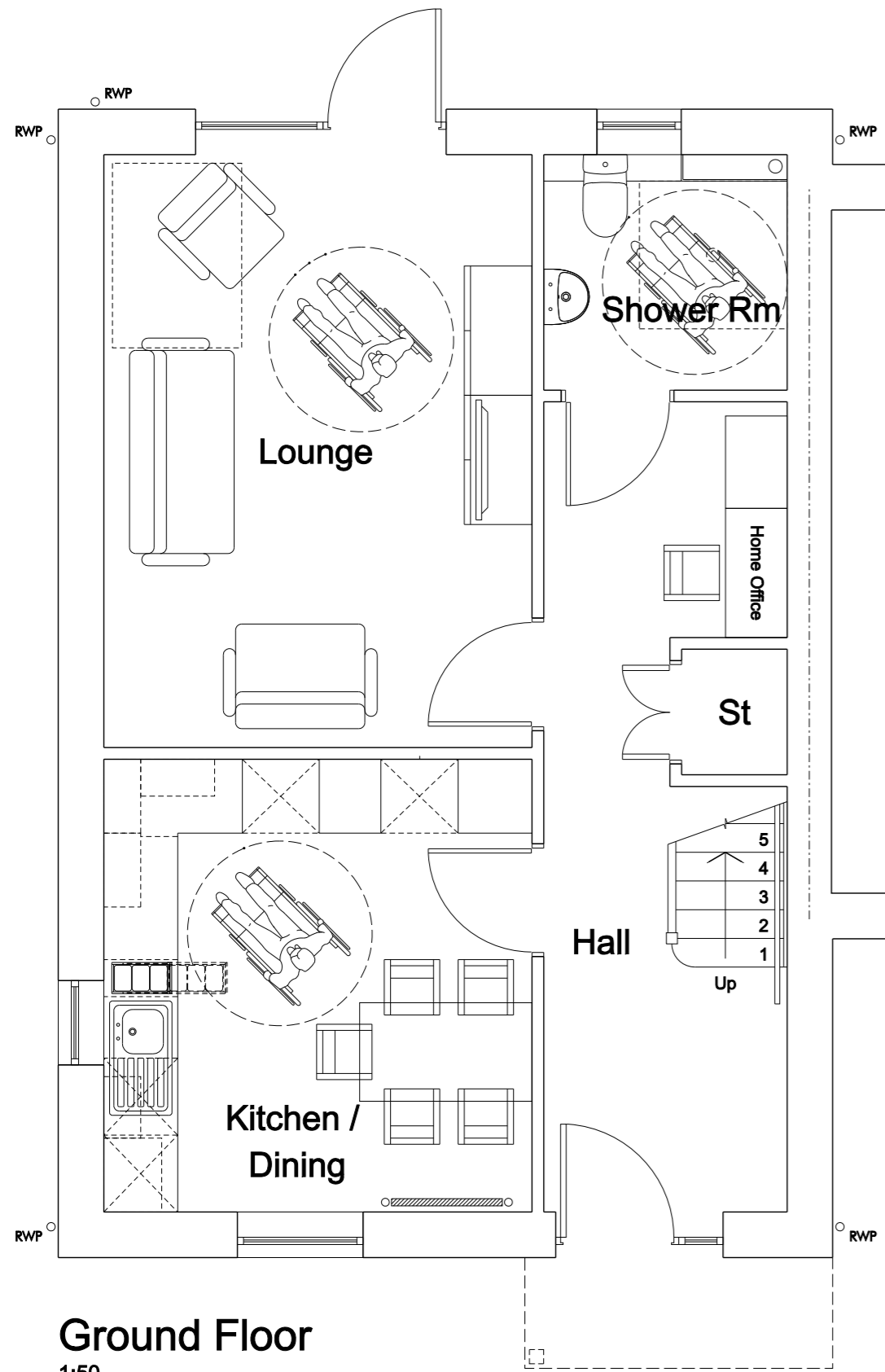
NOTES. Do not scale. All dimensions are in millimetres unless stated otherwise

Date
FEB '17

Scale
1:200 @ A3

Drawing No.
3513_PA_205

Rev.
-



Finishes

Facing Brickwork
Blended Red Multi Gilt Stock with Natural Mortar

Pitched Roof
Marley Modern Duo interlocking concrete tile for small format appearance. Mortar-bedded verge.

Windows and Doors
White PVCu.
GRP entrance doors (Colours TBC).

Window Sills
65mm re-constituted stone sills with no stools. Sills to front elevations only.

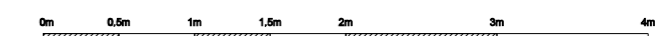
Fascias
White PVCu

Canopies
Timber post and beam structure with dark grey GRP canopy.

Rainwater Goods
Black PVCu.

O Obscure glazing

GIA: 95.0m²



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Project
SNOWDON ROAD & WILSON ROAD

Client
WATES RESIDENTIAL

Drawing Title
**HOUSE TYPE D
GENERAL ARRANGEMENT
& ELEVATIONS**

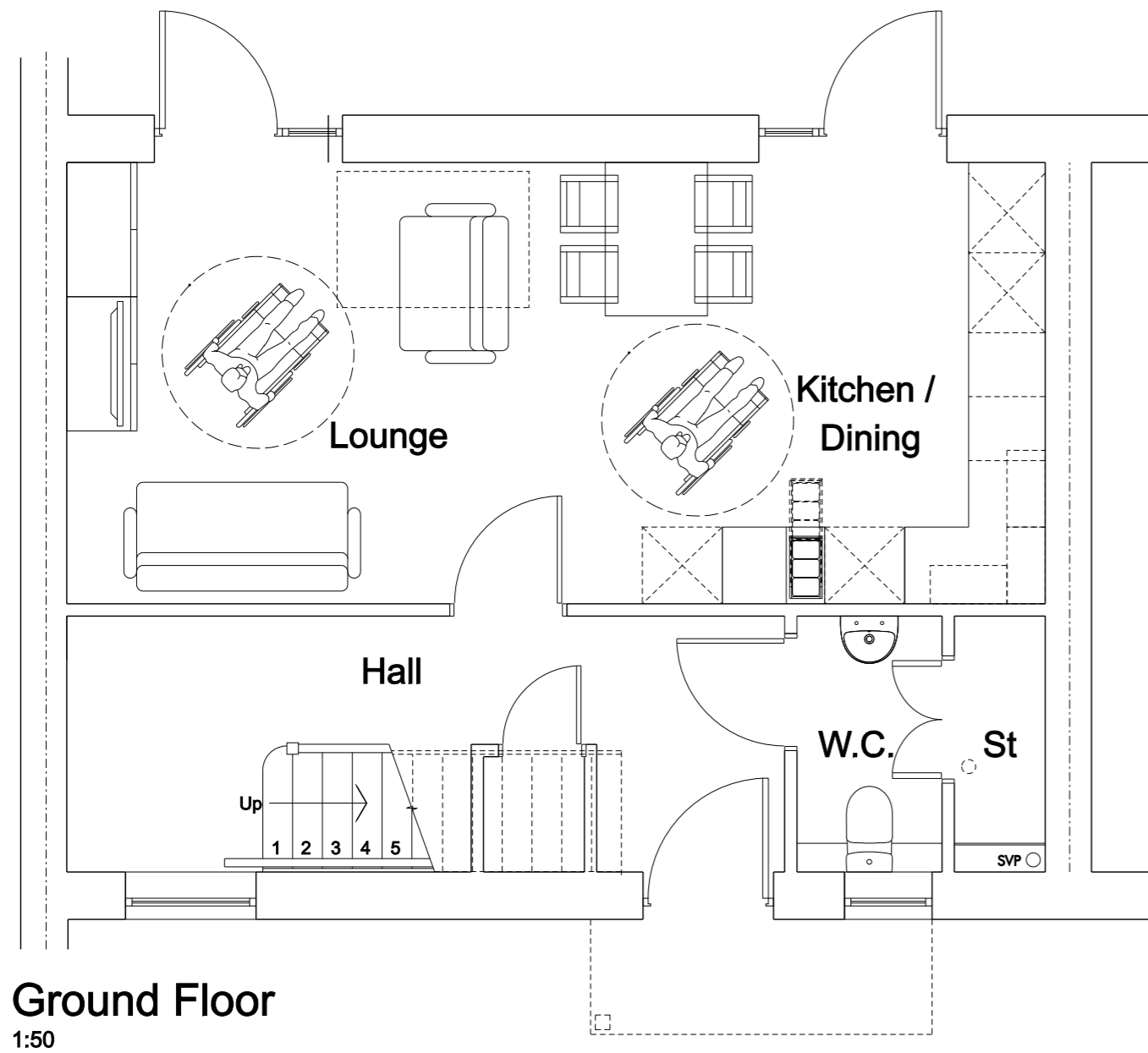
NOTES: Do not scale. All dimensions are in millimetres unless stated otherwise

Date
FEB '16

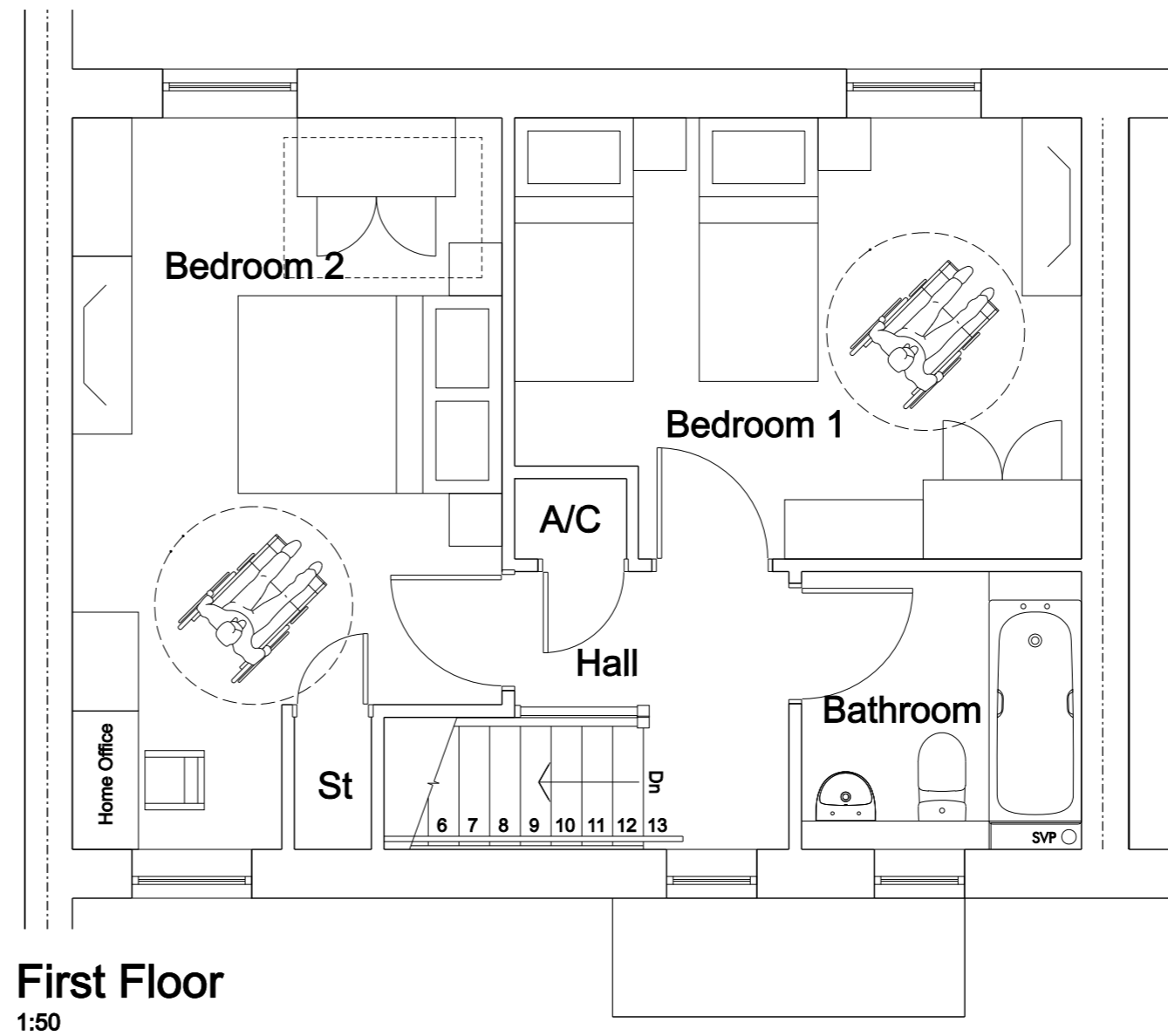
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Drawing No.
3513_PA_101

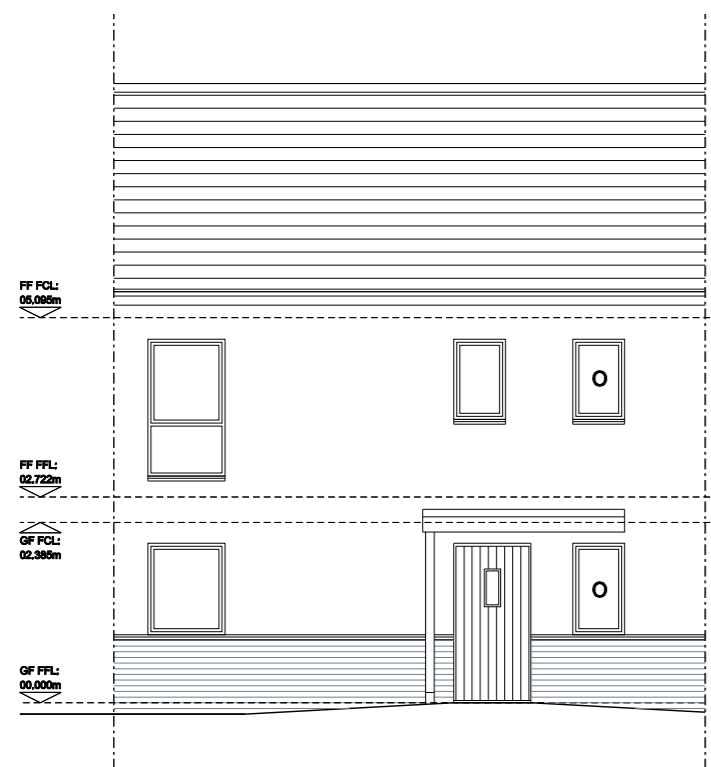
Rev.
-



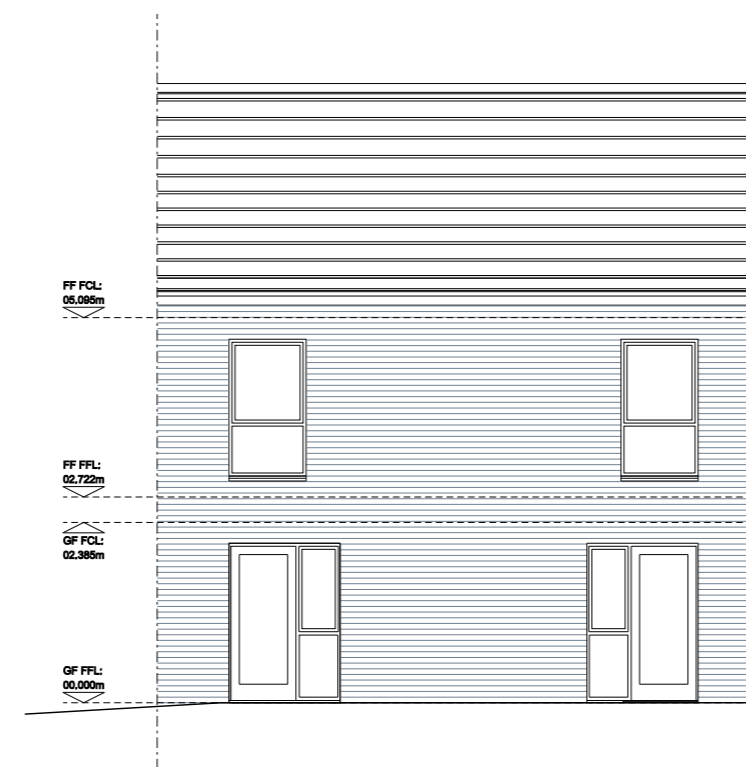
Ground Floor
1:50



First Floor
1:50



Front Elevation
1:100



Rear Elevation
1:100

Finishes

Facing Brickwork
Blended Red Multi Glit Stock with Natural Mortar

Render
Weber Pral-M Roughcast Render (colour TBC)

Pitched Roof
Marley Modern Duo interlocking concrete tile for small format appearance.
Mortar-bedded verge.

Windows and Doors
White PVCu.
GRP entrance doors (colours TBC).
Window Sills
65mm re-constituted stone sills with no stools. Sills to front elevations only.

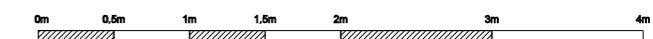
Fascias
White PVCu

Canopies
Timber post and beam structure with dark grey GRP canopy.

Rainwater Goods
Black PVCu.

O Obscure glazing

GIA: 85.0m²



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Project
SNOWDON ROAD & WILSON ROAD

Client
WILSON RESIDENTIAL

Drawing Title
**HOUSE TYPE K
GENERAL ARRANGEMENT
& ELEVATIONS**

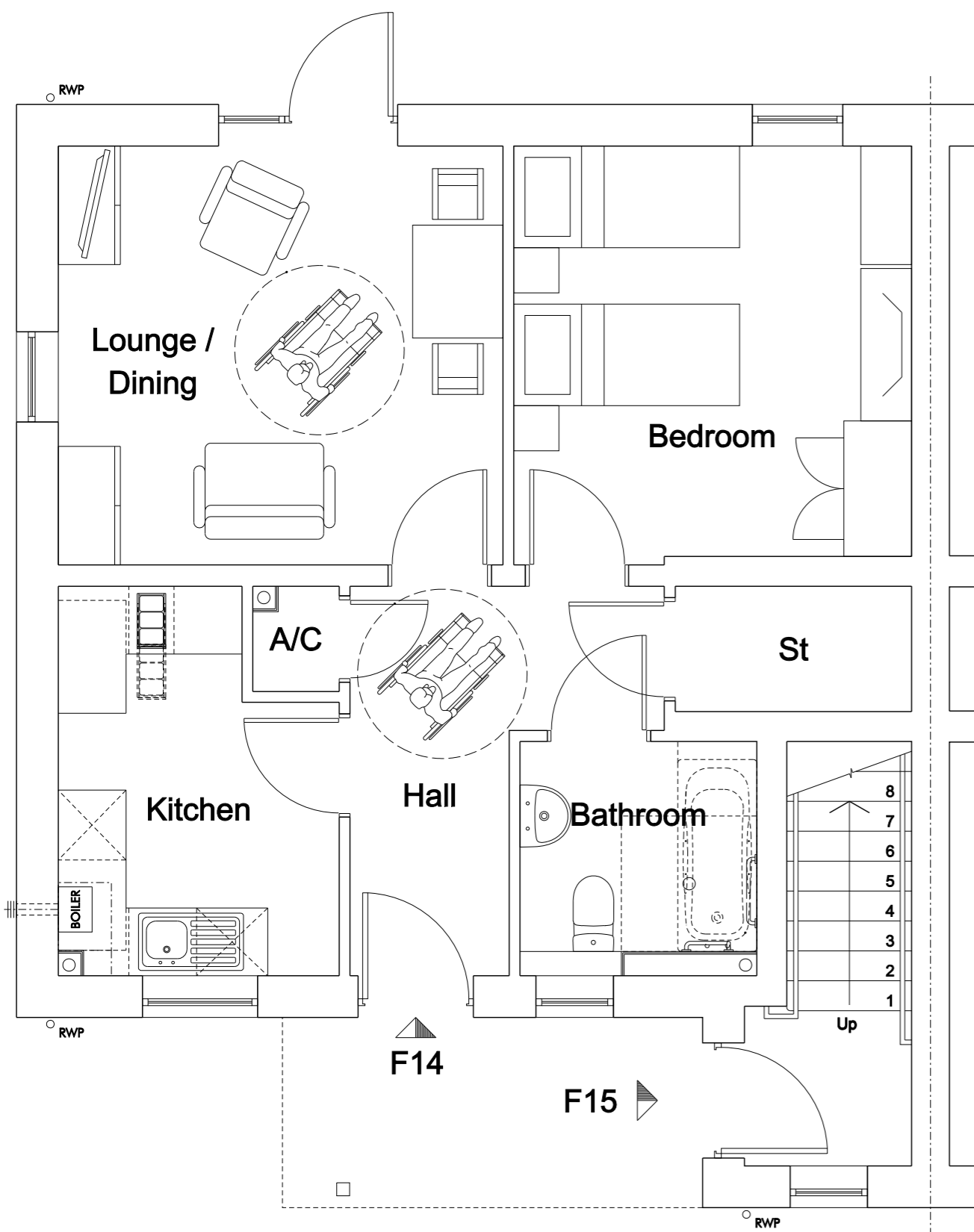
NOTES. Do not scale. All dimensions are in millimetres unless stated otherwise

Date
OCT '16

Scale
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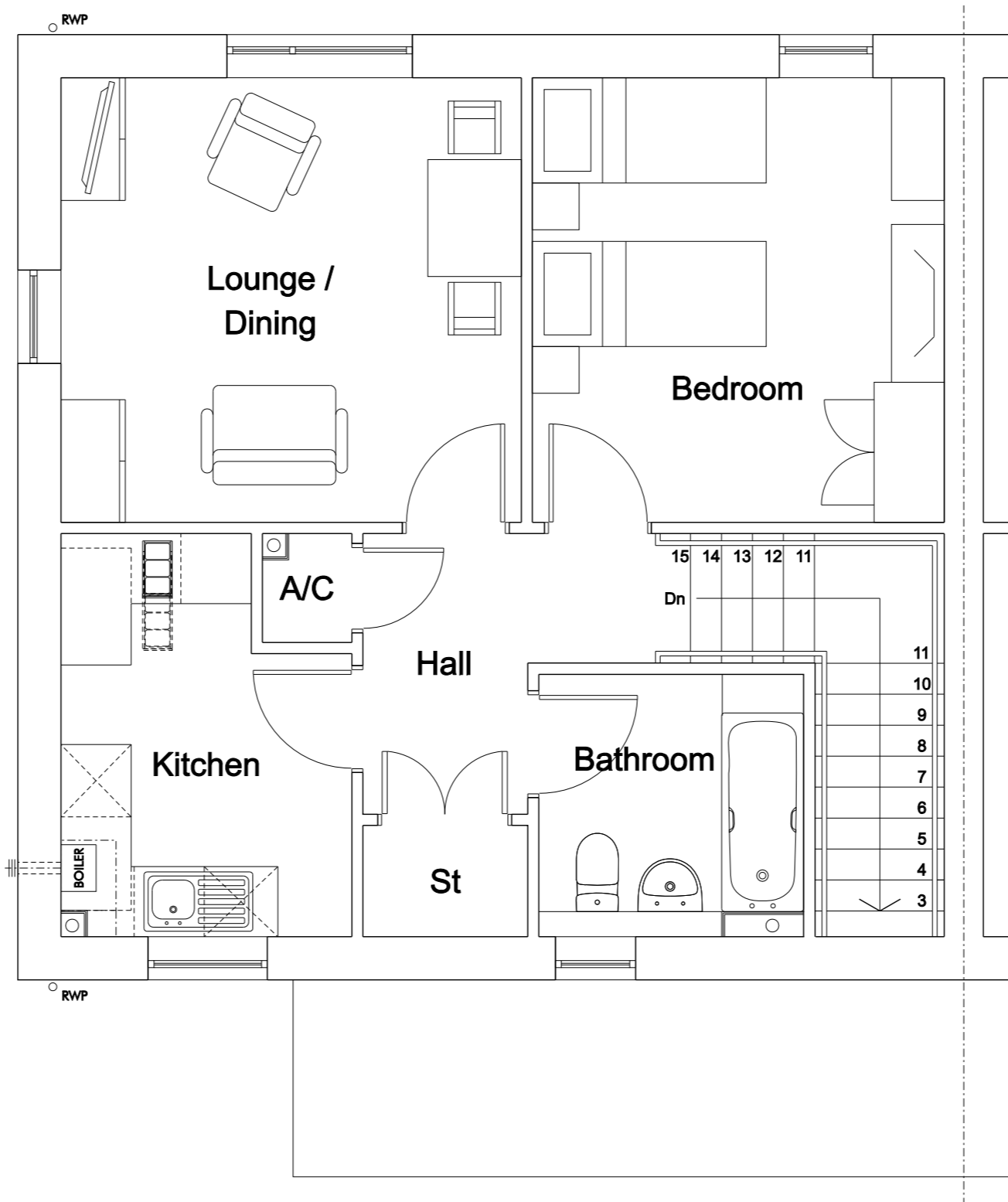
Drawing No.
3513_PA_102

Rev.
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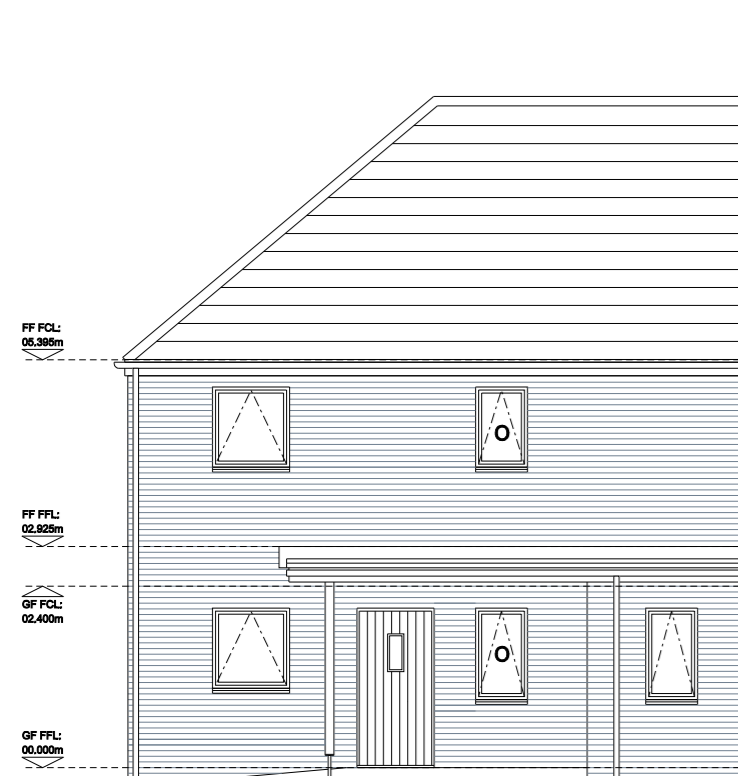
Ground Floor Plan

1:50



First Floor Plan

1:50



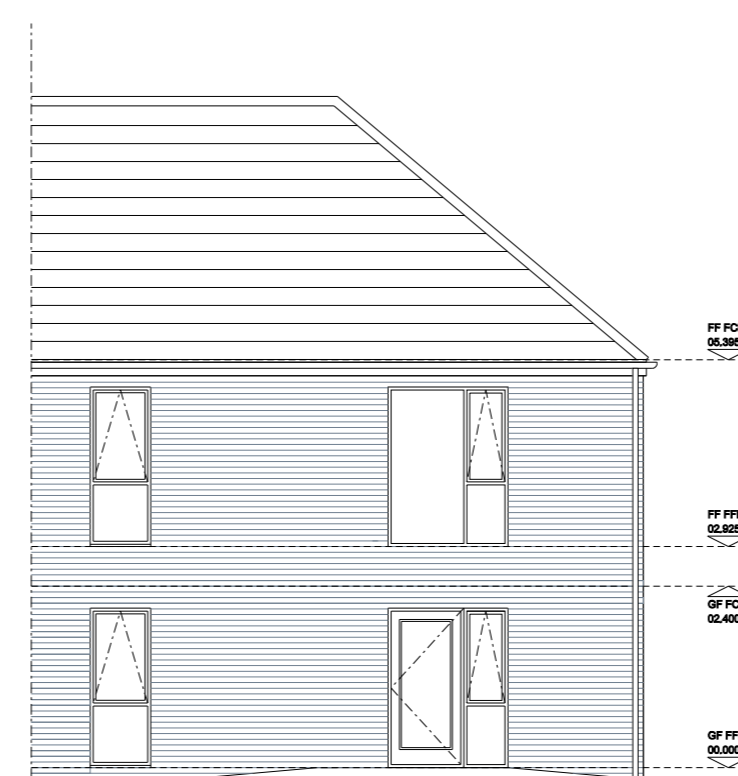
Front Elevation

1:100



Side Elevation

1:100



Rear Elevation

1:100

Finishes

Walls

Facing brickwork - Blended Red Multi Gilt Stock. Natural Mortar.

Pitched Roof

Marley Modern Duo interlocking concrete tile for small format appearance. Mortar-bedded verge. Colour to be confirmed.

Windows and Doors

White PVCu. Sills to front & side elevations only.

Fascias

White PVCu.

Canopies / Flat Roof

Timber post and beam structure with dark grey GRP canopy / flat roof.

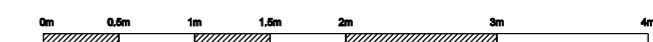
Rainwater Goods

Black PVCu.GRP entrance doors.

Window Sills

65mm re-constituted stone sills with no stools.

O Obscure glazing



GIA: 56.0m²

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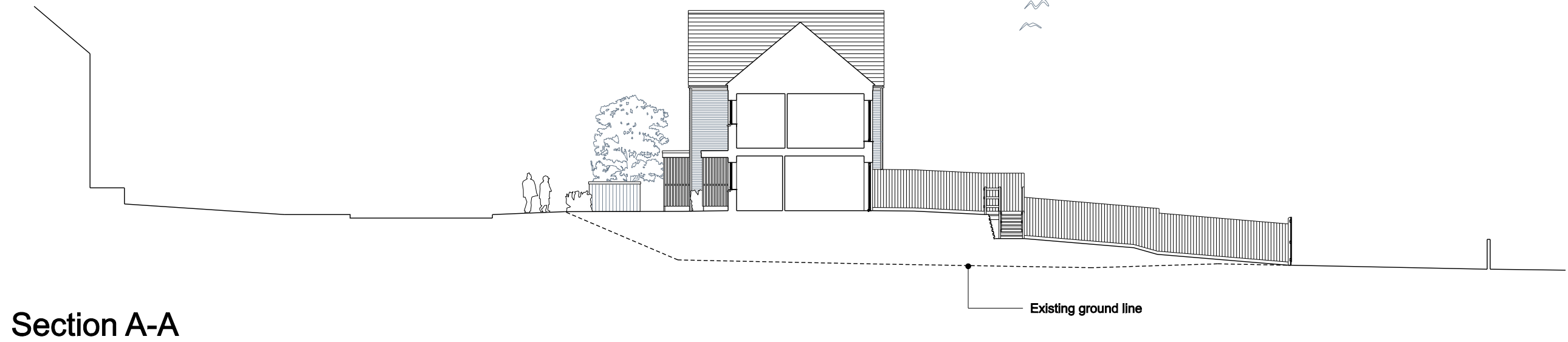
t: 029 2030 9010
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Project
SNOWDON ROAD & WILSON ROAD
Client
WATES RESIDENTIAL

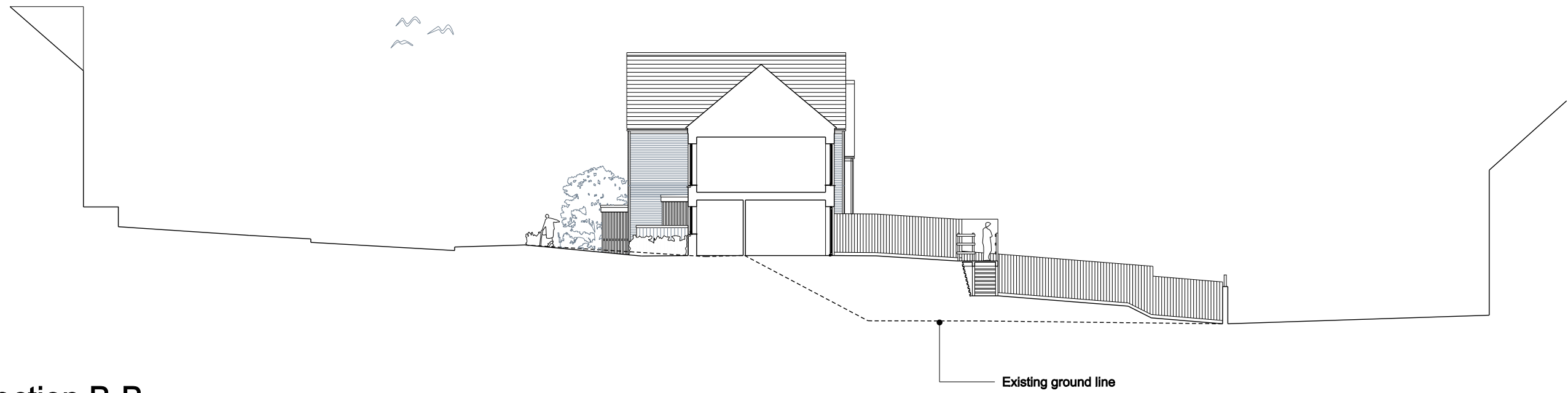
Drawing Title
**APARTMENT BLOCKS A-C
GENERAL ARRANGEMENT &
ELEVATIONS (APT. TYPE F14)**

Date
FEB '17
Scale
1:50 @ A2
Drawing No.
3513_PA_104
Rev.
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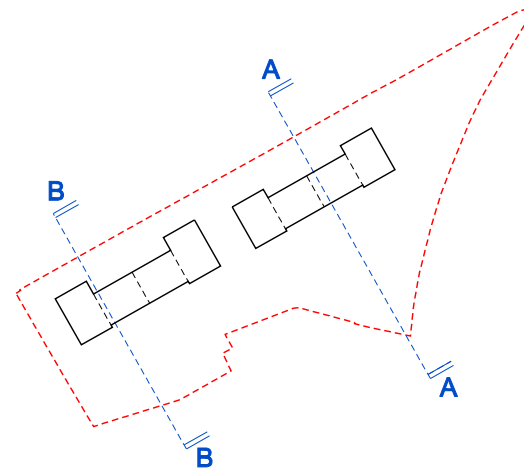
NOTES: Do not scale. All dimensions are in millimetres unless stated otherwise



Section A-A



Section B-B



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Project
SNOWDEN ROAD & WILSON ROAD

Client
WATES RESIDENTIAL

Drawing Title

SITE SECTIONS A - A & B - B

NOTES. Do not scale. All dimensions are in millimetres unless stated otherwise

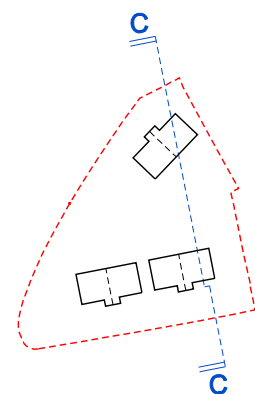
Date
FEB '17

Scale
1:200 @ A3

Drawing No.
3513_PA_201

Rev.

-



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Project
SNOWDEN ROAD & WILSON ROAD

Client
WATES RESIDENTIAL

Drawing Title
SITE SECTION C - C

NOTES. Do not scale. All dimensions are in millimetres unless stated otherwise

Date
FEB '17

Scale
1:200 @ A3

Drawing No.
3513_PA_202

Rev.
-



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Project
SNOWDEN ROAD & WILSON ROAD

Client
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Drawing Title
**3D VISUALISATION A
VIEW ALONG SNOWDEN ROAD**

NOTES. Do not scale. All dimensions are in millimetres unless stated otherwise

Date
FEB '17

Scale
1:200 @ A3

Drawing No.
3513_PA_210

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-



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Project
SNOWDEN ROAD & WILSON ROAD

Client
WATES RESIDENTIAL

Drawing Title
**3D VISUALISATION B
VIEW NORTH ALONG WILSON ROAD**

NOTES. Do not scale. All dimensions are in millimetres unless stated otherwise

Date
FEB '17

Scale
1:200 @ A3

Drawing No.
3513_PA_211

Rev.
-

Applications decided by Delegated Powers between 01/06/2017 and 30/06/2017

Total Count of Applications: 238

ADAM

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00859/MJR	18/04/2017	PMG Mciaren (Cardiff)Ltd	VARIATION OF CONDITION 7 (SOUND INSULATION BETWEEN COMMERCIAL & RESIDENTIAL PREMISES) AND VARIATION OF CONDITION 4 (NO SALE OF HOT FOOD FOR CONSUMPTION OFF THE PREMISES) OF 15/02257/MJR.	FITZALAN COURT, NEWPORT ROAD, ADAMSDOWN	66	False	Permission be granted	23/06/2017
17/01071/MJR	12/05/2017	Fusion Cardiff Metropolitan Ltd	USE OF UNREGISTERED LAND ADJOINING STUDENT DEVELOPMENT TO FORM PART OF A PEDESTRIAN FOOTPATH	FORMER UNIVERSITY OF WALES INSTITUTE CARDIFF HOWARD GARDENS CAMPUS, HOWARD GARDENS, ADAMSDOWN, CARDIFF, CF24 0SP	31	True	Permission be granted	12/06/2017
17/00878/MNR	13/04/2017	The Handy Loan Club Company Ltd	RENEWAL OF PLANNING PERMISSION 12/00352/DCI (DEMOLITION AND REBUILDING WITH INCREASED ANNEXE ROOF HEIGHT)	2 CONSTELLATION STREET, ADAMSDOWN, CARDIFF, CF24 0HN	77	False	Permission be granted	29/06/2017
A/17/00078/MNR	03/05/2017	Klump Investments Ltd. C/O Castleforge Partners	EXTERNAL ILLUMINATED FASCIA SIGN	BRUNEL HOUSE, 2 FITZALAN ROAD, ADAMSDOWN, CARDIFF, CF24 0EB	47	True	Permission be granted	19/06/2017
17/00951/MNR	27/04/2017	Williams	CONSTRUCTION OF THREE SELF CONTAINED FLATS	REAR OF 110 BROADWAY, ADAMSDOWN, CARDIFF, CF24 1NJ	63	False	Planning Permission be refused	29/06/2017

BUTE

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00523/MJR	08/03/2017	Signature Living	DISCHARGE OF CONDITIONS 3 AND 4 (PUBLIC REALM), 5 (DELIVERY AND SERVICING STRATEGY), 6 (ACCESS PROVISION), 7 (CYCLE PARKING), 8 (TRAVEL PLAN), 9 (WASTE AND RECYCLING STORAGE FACILITIES), 17 AND 18 (DRAINAGE SCHEME) OF 16/01024/MJR	THE COAL EXCHANGE, MOUNT STUART SQUARE, BUTETOWN, CARDIFF, CF10 5EB	98	False	Partial Discharge of Condition (s)	14/06/2017
17/01279/MJR	02/06/2017	Lower West Side Ltd	AMENDMENTS TO 16/00504/MJR - SUBSTITUTE DRAWINGS TO REFLECT THE FOLLOWING AMENDMENTS: - REINTRODUCE GROUND FLOOR COMMERCIAL UNITS ADJACENT TO THE MAIN ENTRANCE, REPLACING THE CONCIERGE AREA AND OFFICE WITH 2NO. SMALL COMMERCIAL PREMISES - ALTERATIONS TO THE ELEVATION TO TRADE STREET TO REFLECT THE GROUND FLOOR AMENDMENTS - AMENDING THE GLAZING AT UPPER FLOOR LEVELS - 2NO. WINDOWS ADDED TO THE 9TH FLOOR FLAT FACING ONTO THE COURTYARD - ILLUSTRATING THE GLASS BALUSTRADE AT PARAPET LEVELS THAT IS REQUIRED BEHIND THE MASONRY - REDESIGNING THE 8TH AND 9TH FLOORS, REDUCING THE NUMBER OF FLATS BY 2 - AMENDING ONE DORMER WINDOW TO SEA CAPTAINS HOUSES TO INTRODUCE MATCHING WINDOWS	OLD IMPERIAL BUILDINGS, TRADE STREET, BUTETOWN, CARDIFF, CF10 5DQ	7	True	Permission be granted	09/06/2017

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17/01437/MNR	21/06/2017	Travi Perkins	ADDITION OF FURTHER RACKING	TRAVIS PERKINS, QUEEN ALEXANDRA DOCK, COLD STORES ROAD, CARDIFF BAY, CARDIFF, CF10 4LW	8	True	Permission be granted	29/06/2017
17/01266/MNR	31/05/2017	Morgan	DEMOLITION OF PDSA VETERINARY SURGERY	PDSA, 238 BUTE STREET, BUTETOWN, CARDIFF, CF10 5HT	26	True	Prior Approval be granted	26/06/2017

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17/01031/DCH	09/05/2017	Preece	PART FIRST FLOOR EXTENSION OVER EXISTING SIDE EXTENSION	7 KNIGHTSWELL CLOSE, CAERAU, CARDIFF, CF5 4NA	41	True	Permission be granted	19/06/2017

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17/00977/MNR	04/05/2017	Cardiff Olympic Gymnastics	CHANGE OF USE OF VACANT AUTO BODY REPAIR & MANUFACTURING FACILITY TO D2 GYMNASIUM USE	UNIT 19, ELY DISTRIBUTION CENTRE, ARGYLE WAY, CAERAU, CARDIFF, CF5 5NJ	40	True	Permission be granted	13/06/2017

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17/00866/DCH	04/05/2017	Billington	DORMER ROOF EXTENSION	35 LINCOLN STREET, CANTON, CARDIFF, CF5 1JX	35	True	Permission be granted	08/06/2017
17/01149/DCH	18/05/2017	Singh	ALTERATIONS TO 15/02567/DCH - RETENTION OF PARAPET WALL AND FLAT ROOF INCLUDING SKY-LANTERN IN PLACE OF 'ORANGERY STYLE' HIPPED ROOF AND ALTERATIONS	165 PENCISELY ROAD, CANTON, CARDIFF, CF5 1DP	33	True	Permission be granted	20/06/2017

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17/00887/MNR	04/05/2017	Jennings	CHANGE OF USE FROM A DWELLING HOUSE (CLASS C3) TO A 6 BED HOUSE IN MULTIPLE OCCUPATION (HMO) (CLASS C4)	42 MAJOR ROAD, CANTON, CARDIFF, CF5 1PF	46	True	Permission be granted	19/06/2017
17/00958/MNR	02/05/2017	cardiff house of sport ltd	VARIATION OF CONDITION 5 OF 16/02098/MNR TO NOW READ 'THE DOME SHALL BE STRUCTURED OF FABRIC THAT IS WHITE AT UPPER LEVELS BUT COLOURED CLOSER TO THE GROUND AS DRAWINGS 3056-P-401 AND 3056-P-402'	EXISTING PITCHES ADJACENT TO LAWRENNY AVENUE, CARDIFF	52	True	Permission be granted	23/06/2017
17/01124/MNR	17/05/2017	Park	CHANGE OF USE TO CLASS C4 HMO	3 LECKWITH MEWS, CANTON, CARDIFF, CF11 8HX	27	True	Permission be granted	13/06/2017

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17/00838/DCH	21/04/2017	Aikeojo	REAR DORMER SET BACK 300mm FROM ORIGINAL MAIN HOUSE REAR WALL TO EXISTING C4 HMO AND VELUX ROOF LIGHT TO FRON NOT EXCEEDING 150MM ABOVE ROOF PLANE	37 LETTY STREET, CATHAYS, CARDIFF, CF24 4EL	41	True	Permission be granted	01/06/2017
17/00771/DCH	05/05/2017	ABEDI	PROPOSED INTERNAL ALTERATIONS, 1ST FLOOR REAR EXTENSION & LOFT CONVERSION WITH DORMER	28 SALISBURY ROAD, CATHAYS, CARDIFF, CF24 4AD	45	True	Permission be granted	19/06/2017
17/00757/DCH	27/05/2017	ABEDI	PROPOSED 2 STOREY REAR EXTENSION, REAR DORMER EXTENSION & INTERNAL ALTERATIONS	79 COLUM ROAD, CATHAYS PARK, CARDIFF, CF10 3EF	9	True	Permission be granted	05/06/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>

17/00554/MJR	17/03/2017	Cardiff University	INTERNAL REFURBISHMENT OF AND ALTERATIONS TO 15NO. INTERNAL ROOMS TO THE LOWER GROUND FLOOR ONLY OF THE 1932 AND 1952 EXTENSIONS, INCLUDING THE REMOVAL OF SOME PARTITIONS, INTERNAL DOORS, SUSPENDED CEILINGS AND DUCTWORK AND INSTALLATION OF SOME NEW PARTITIONS, INTERNAL DOORS, SUSPENDED CEILINGS, DUCTWORK AND ACOUSTIC PANELLING; THE INSTALLATION OF NEW SECONDARY GLAZING TO MOST WINDOWS; THE REPLACEMENT OF ONE INTERNAL COURTYARD-FACING WINDOW WITH A LOUVRE; THE REMOVAL OF A SMALL NUMBER OF INTERNAL COURTYARD-FACING BRICKS TO ENLARGE TWO LOUVRE OPENINGS; AND THE INSERTION OF A SMALL LOUVRE THROUGH MODERN INFILL CONCRETE BLOCKWORK TO THE INTERNAL COURTYARD FACING ELEVATION	CARDIFF UNIVERSITY SCHOOL OF SOCIAL SCIENCES, GLAMORGAN BUILDING, KING EDWARD VII AVENUE, CATHAYS PARK, CARDIFF, CF10 3WT	96	False	Permission be granted	21/06/2017
17/00371/MJR	20/04/2017	Mansford LLP	CHANGE OF USE FROM A1 (SHOP) AND SUI GENERIS (ADULT GAMING CENTRE) TO CLASS A3 (FOOD AND DRINK)	8-10 HIGH STREET, CITY CENTRE, CARDIFF, CF10 1AW	67	False	Permission be granted	26/06/2017
17/01093/MNR	15/05/2017	Knightsbridge Central (4) Limited	CHANGE OF USE OF THE GROUND AND BASEMENT FLOORS FROM CLASS A1 (SHOPS) TO CLASS A3 (FOOD AND DRINK) CAFE/BAR/RESTAURANT	6-7 ST JOHN STREET, CITY CENTRE, CARDIFF, CF10 1GJ	42	True	Permission be granted	26/06/2017
17/00841/MJR	24/04/2017	Rightacres Property Company Limited	DEMOLITION OF ST DAVID'S HOUSE WHICH IS LOCATED NORTH OF WOOD STREET.	SAINT DAVIDS HOUSE, WOOD STREET, CITY CENTRE, CARDIFF, CF10 1ES	60	False	Prior Approval be granted	23/06/2017
17/01062/MJR	10/05/2017	TEG English Portsmouth, 7-9 Edinburgh Road,	CHANGE OF USE FROM OFFICES [CLASS B1(a)] TO A PRIVATE LANGUAGE SCHOOL [CLASS D1(c)]	33 CHARLES STREET, CITY CENTRE	40	True	Permission be granted	19/06/2017

17/00925/MJR	02/05/2017	Capita Business Services	CHANGE OF USE OF THE SECOND FLOOR OF 40 WINDSOR PLACE, TO 'HEALTH & DISABILITY ASSESSMENT CENTRE' (D1) WITH ANCILLARY OFFICE SPACE	40 WINDSOR PLACE, CITY CENTRE, CARDIFF, CF10 3BW	37	True	Permission be granted	08/06/2017
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16/00200/MNR	29/01/2016	S&A PROPERTIES(SOUTH WALES)LTD	CONVERSION TO 4 FLATS WITH NEW SHOP FRONT TO SHOP AND ROOFLIGHTS TO REAR	31 ST MARY STREET, CITY CENTRE, CARDIFF, CF10 1AB	515	False	Permission be granted	27/06/2017
17/00913/MNR	25/04/2017	HSBC Corporate Real Estate	VARIOUS INTERNAL & EXTERNAL WORKS CONSISTING OF; EXTERNAL REPLACEMENT OF THE SIGNAGE REPLACEMENT OF THE EXISTING SPOT LIGHTS - TO ILLUMINATE THE NEW HANGING SIGN. RE-PAINTING OF THE RAILINGS/HANDRAILS TO MATCH. CONSERVATION STYLE CLEANING FOR HIGHLY STAINED AREAS. INTERNAL VARIOUS DECORATIONS WORKS INCLUDING NEW FLOORING. CERTAIN DOORS TO BE REPLACED WITH NEW - SIZE TO MATCH EXISTING - NO STRUCTURAL WORKS. EXISTING STUD PARTITIONS TO BE REMOVED AND NEW STUD PARTITIONS CONSTRUCTED. FULL SCOPE OF WORKS LISTED ON DRAWINGS.	HSBC, 56 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2PX	65	False	Permission be granted	29/06/2017
17/00517/MNR	15/03/2017	ASK ITALIAN	PAINTING OF THE SHOPFRONT, THE STALL RISER AND LAMPOSTS AND INSTALLATION OF SIGNAGE	ASK RESTAURANTS, 24-32 WYNDHAM ARCADE, CITY CENTRE, CARDIFF, CF10 1FJ	89	False	Permission be granted	12/06/2017
17/01038/MNR	10/05/2017	Abdalla	CHANGE OF USE FROM C4 TO SUI GENERIS USE CLASS HOUSE IN MULTIPLE OCCUPATION (8 BED)	68 MAINDY ROAD, CATHAYS, CARDIFF, CF24 4HQ	51	True	Permission be granted	30/06/2017
17/00473/MNR	02/03/2017	Zaman	RETENTION OF CHANGE OF USE TO 7 BED SUI GENERIS HOUSE IN MULTIPLE OCCUPATION	202 RHYMNEY STREET, CATHAYS, CARDIFF, CF24 4DJ	99	False	Permission be granted	09/06/2017

17/00919/MNR	27/04/2017	PRYL Bars Limited (A Taylor) and Timeless Elegance (C Lejak)	VARIATION OF CONDITIONS 3 AND 4 OF 16/01500/MNR TO ALLOW USE AS A TABLE SERVICED COCKTAIL BAR IN ADDITION TO RESTAURANT, CAFE OR COFFEE SHOP AND TO ENABLE OPENING UNTIL 01:00	22 HIGH STREET, CITY CENTRE, CARDIFF, CF10 1PY	56	True	Permission be granted	22/06/2017
17/00665/MNR	18/04/2017	Alliance House Properties Limited	INSTALLATION OF AN EXTERNAL MOTORISED SHUTTER	QUAY STREET KITCHEN, QUAY STREET, CITY CENTRE	56	True	Planning Permission be refused	13/06/2017
17/00843/MNR	13/04/2017	Aikeojo	CHANGE OF USE TO C4 HOUSE IN MULTIPLE OCCUPATION	14 LLANDOUGH STREET, CATHAYS, CARDIFF, CF24 4AW	54	True	Planning Permission be refused	06/06/2017
17/00714/MNR	30/03/2017	BNP PARIBAS AS TRUSTEES FOR MAYFAIR CAPITAL	EXTERNAL ALTERATIONS TO OFFICE BUILDING TO PROVIDE: (I) NEW EXTERNAL WINDOWS; AND (II) NEW VISITOR AND EMPLOYEE ENTRANCE WITH GROUND FLOOR INTERNAL ALTERATIONS	6 PARK STREET, CITY CENTRE, CARDIFF, CF10 1XR	67	False	Planning Permission be refused	05/06/2017
17/00753/MNR	11/04/2017	Jones	GROUND FLOOR REAR EXTENSION, REAR DORMER AND CHANGE OF USE FROM C4 SMALL HOUSE IN MULTIPLE OCCUPATION TO LARGE SUI GENERIS HOUSE IN MULTIPLE OCCUPATION	38 LLANTRISANT STREET, CATHAYS, CARDIFF, CF24 4JE	55	True	Planning Permission be refused	05/06/2017
17/01283/MNR	02/06/2017	EE LTD & HUTCHINSON 3G UK LTD	RETENTION OF INSTALLATION OF 6NO. ANTENNAS, 3NO. 600MM DIAMETER DISH ANTENNAS AND 1NO. 300MM DIAMETER DISH ANTENNA COMPLETELY SCREENED BEHIND CAROUSEL, 5NO. EQUIPMENT CABINETS ON ROOFTOP AND ANCILLARY WORKS INCLUDING METER CABINET	STADIUM HOUSE, PARK STREET, CITY CENTRE, CARDIFF, CF10 1NT	27	True	Permission be granted	29/06/2017
17/01187/MNR	30/05/2017	LHC Architects	CONSTRUCTION OF A NEW DOOR AND ENTRANCE SURROUND TO THE ENTRANCE TO SUMMIT HOUSE FROM WINDSOR PLACE AND AN EXTENSION TO THE EXISTING CYCLE/BIN STORE	SUMMIT HOUSE, 9-10 WINDSOR PLACE, CITY CENTRE, CARDIFF, CF10 3BX	30	True	Permission be granted	29/06/2017

A/17/00099/MNR	18/05/2017	Morgans Consult	4 NO. INTERNALLY ILLUMINATED FASCIA SIGN	PRINCIPALITY BUILDING SOCIETY, 2-4 TOWN WALL SOUTH, CITY CENTRE, CARDIFF, CF10 2EW	39	True	Permission be granted	26/06/2017
17/01047/MNR	09/05/2017	Ahmed	GROUND AND FIRST FLOOR REAR/SIDE EXTENSION, REAR DORMER AND CONVERSION FROM 3 FLATS TO 4 FLATS	139D CATHAYS TERRACE, CATHAYS	30	True	Permission be granted	08/06/2017
17/01195/MNR	23/05/2017	PEARNS PROPERTIES LIMITED	VARIATION OF CONDITION 1 OF 12/00620/DCI TO EXTEND COMMENCEMENT TIME FOR FURTHER 5 YEARS	GARAGES REAR OF 71 RICHARDS STREET, CATHAYS, CARDIFF, CF24 4DB	29	True	Permission be granted	21/06/2017
17/00944/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	JUNCTION OF HAVELOCK STREET AND WOOD STREET, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017
17/00945/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OUTSIDE 10-12, CHURCHILL WAY, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017
17/00946/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OUTSIDE 15 DUKE STREET, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017
17/00947/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OPPOSITE 121-123, QUEEN STREET, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017
17/00948/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OUTSIDE 15 ST DAVIDS HOUSE, WOOD STREET, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017
17/00949/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OUTSIDE 56-58, QUEEN STREET, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017
17/00950/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OPPOSITE 92 QUEEN STREET, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017
17/00952/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OUTSIDE 103 QUEEN STREET, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017
17/00953/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OPPOSITE 119, QUEEN STREET, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017

17/00954/MNR	05/05/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OPPOSITE 133-139 QUEEN STREET, CITY CENTRE	39	True	Planning Permission be refused	13/06/2017
17/01115/MNR	22/05/2017	Compass Hotels	NEW CURTAIN WALLING AND ALTERATIONS TO GROUND FLOOR STREET LEVEL FACADE	BIG SLEEP HOTEL, BUTE TERRACE, CITY CENTRE, CARDIFF, CF10 2FE	29	True	Permission be granted	20/06/2017

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17/00443/DCH	27/02/2017	Roberts	DEMOLITION OF REAR, SINGLE-STOREY EXTENSIONS & CONSTRUCTION OF NEW REAR, SINGLE & TWO STOREY EXTENSIONS TO PROVIDE KITCHEN, LIVING & DINING SPACES, ADDITIONAL BEDROOMS & SWIMMING POOL WITH ASSOCIATED FACILITIES. DEMOLITION OF EXISTING FORGE WORKSHOP BUILDING & REPLACEMENT WITH NEW WORKSHOP BUILDING, INCORPORATING ANCILLARY ACCOMODATION	NANT COSLECH, PETERSTON ROAD, GROES FAEN, PONTYCLUN, CF72 8NU	108	False	Permission be granted	15/06/2017
17/00994/DCH	03/05/2017	Doolan	CHANGE OF USE FROM A GARAGE TO A HABITABLE ROOM, TO THE FRONT ELEVATION	1 MAES-Y-GOLLEN, CREIGIAU, CARDIFF, CF15 9JW	41	True	Permission be granted	13/06/2017
17/00902/DCH	26/04/2017	Stewart	CONVERSION AND EXTENSION TO EXISTING GARAGE	BRYNHEULOG, 43 CARDIFF ROAD, CREIGIAU, CARDIFF, CF15 9NL	41	True	Permission be granted	06/06/2017
17/00629/DCH	21/03/2017	Chawathe	REAR GROUND FLOOR EXTENSIONS 4000MM OR LESS DEPTH FROM ORIGINAL MAIN HOUSE, PLUS ALTERATIONS TO FRONT	21 LLEWELYN GOCH, ST FAGANS, CARDIFF, CF5 6HR	72	False	Permission be granted	01/06/2017

17/01086/DCH	12/05/2017	Pullen	SINGLE STORE REAR AND SIDE EXTENSIONS TO CREATE AN ORANGERY AND CHILDREN PLAY AREA.	13 BRUMMELL DRIVE, CREIGIAU, CARDIFF, CF15 9NX	27	True	Permission be granted	08/06/2017
17/00881/DCH	27/04/2017	Gokhale	SINGLE STOREY EXTENSION TO REAR TO FORM A SUN LOUNGE & SINGLE STOREY TO THE SIDE TO FORM A UTILITY ROOM	9 FFORDD GWERN, ST FAGANS, CARDIFF, CF5 6PB	39	True	Permission be granted	05/06/2017
17/01229/DCH	30/05/2017	Anscombe	ALTERATIONS TO EXISTING REAR CONSERVATORY STRUCTURE TO INCLUDE REPLACEMENT OF ROOF STRUCTURE, INCLUSION OF GLAZED LANTERN AND PART ALTERATIONS TO CONSERVATORY OUTLINE.	17 FFORDD-Y-BARCEr, ST FAGANS, CARDIFF, CF5 4QP	24	True	Permission be granted	23/06/2017

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17/00765/MNR	17/04/2017	Terry	CHANGE OF USE OF LAND FROM AGRICULTURAL TO DOMESTIC GARDEN	LAND AT 26 QUEEN CHARLOTTE DRIVE, CREIGIAU, CARDIFF, CF15 9NY	50	True	Permission be granted	06/06/2017
17/00702/MNR	28/03/2017	Nasser	PROPOSED DETACHED DWELLING	LAND AT TYNANT ROAD, CREIGIAU	66	False	Planning Permission be refused	02/06/2017

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17/00926/DCH	03/05/2017	Ingram Evans	EXTENSION OF FAMILY HOME OVER EXISTING SINGLE STOREY GARAGE TO PROVIDE MASTER BEDROOM SUITE, AND NEW LOBBY TO FRONT	4 MEADOW CLOSE, CYNCOED, CARDIFF, CF23 6QB	43	True	Permission be granted	15/06/2017

17/00333/DCH	22/02/2017	Williams	LOFT CONVERSION WITHIN EXISTING ROOF PROFILE 3 ROOFLIGHTS TO FRONT, 5 TO REAR & GABLE END WINDOW EXTEND HIGHWAYS CROSS-OVER FOR PROPOSED PARKING BAY	56 LLANDENNIS ROAD, CYNCOED, CARDIFF, CF23 6EG	112	False	Permission be granted	14/06/2017
17/00984/DCH	09/05/2017	Trimby	PROPOSED NEW ROOF AND LOFT ROOM	12 BLACK OAK ROAD, CYNCOED, CARDIFF, CF23 6QT	41	True	Permission be granted	19/06/2017
17/00990/DCH	03/05/2017	Davies	PROPOSED NEW ROOF AND LOFT ROOM	14 BLACK OAK ROAD, CYNCOED, CARDIFF, CF23 6QT	47	True	Permission be granted	19/06/2017
17/00942/DCH	27/04/2017	Gellards And Co Ltd	EXTENSIONS AND ALTERATIONS TO DETACHED GARAGE WITH NEW ROLLER SHUTTER	161 LAKE ROAD WEST, ROATH PARK, CARDIFF, CF23 5PL	42	True	Permission be granted	08/06/2017
17/00150/DCH	03/04/2017	Elsarrag	PROPOSED SINGLE STORY REAR EXTENSION, NEW FRONT PORCH, NEW PITCHED ROOF TO GARAGE, LANDSCAPING TO FRONT, RAISED PATIO AREA TO THE REAR AND NEW EXTERNAL FINISHES.	53A HOLLYBUSH ROAD, CYNCOED, CARDIFF, CF23 6TZ	60	False	Permission be granted	02/06/2017
17/00525/DCH	08/03/2017	Lacan	DOUBLE SIDED 2 STOREY EXTENSION AND REAR SINGLE EXTENSION WITH THE DEMOLITION OF GARAGE.	6 THREE ARCHES AVENUE, CYNCOED, CARDIFF, CF14 0NU	86	False	Permission be granted	02/06/2017
17/01116/DCH	16/05/2017	Richards	DEMOLITION OF GARAGE AND ERECTION OF GROUND FLOOR SIDE EXTENSION	28 LLANDENNIS AVENUE, CYNCOED, CARDIFF, CF23 6JH	28	True	Permission be granted	13/06/2017
17/00979/DCH	02/05/2017	Hill	PROPOSED DOUBLE STOREY SIDE EXTENSION. PROPOSED SINGLE STOREY REAR EXTENSION. PROPOSED DOUBLE STOREY PORCH/LANDING EXTENSION TO FRONT	TY BRYN, 35 RANNOCH DRIVE, LAKESIDE, CARDIFF, CF23 6LP	37	True	Permission be granted	08/06/2017

17/01158/DCH	22/05/2017	Ali	LOFT CONVERSION WITH REAR DORMER AND FRONT EXTENSION TO FORM NEW ENTRANCE LOBBY AND EXTERNAL ALTERATIONS, INCLUDING ALTERATIONS TO ROOF OF EXISTING CONSERVATORY AND TO THE ROOF OF AN EXISTING TWO STOREY SIDE EXTENSION.	2 LEVEN CLOSE, LAKESIDE, CARDIFF, CF23 6DN	32	True	Permission be granted	23/06/2017
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17/00210/MNR	19/04/2017	Ahmed	CHANGE OF USE FROM HAIRDRESSERS (A1) TO TEA ROOM (A3)	17-19 CLEARWATER WAY, LAKESIDE, CARDIFF, CF23 6DL	54	True	Permission be granted	12/06/2017

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17/00879/DCH	25/04/2017	Williams	DOUBLE SIDE EXTENSION TO ENLARGE KITCHEN AND CONSTRUCT CARPORT ON GROUND FLOOR. CONSTRUCT OFFICE & ADDITIONAL BEDROOM ON 1ST FLOOR.	31 MANSELL AVENUE, ELY, CARDIFF, CF5 4TB	49	True	Permission be granted	13/06/2017

FAIR

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17/00905/DCH	25/04/2017	Macfarlane	REQUESTING PERMISSION FOR DROPPED KERB WITH CROSSOVER TO ALLOW FOR PARKING ON DRIVEWAY FOR REGISTERED DISABLED DRIVER	44 PLAS MAWR ROAD, FAIRWATER, CARDIFF, CF5 3JX	52	True	Permission be granted	16/06/2017
17/00362/DCH	20/02/2017	Lloyd	2 STOREY REAR EXTENSION WITH INTERNAL ALTERATIONS PLUS ASSOCIATED WORKS	11 BEECHLEY DRIVE, PENTREBANE, CARDIFF, CF5 3SF	115	False	Permission be granted	15/06/2017
17/00934/DCH	04/05/2017	Johns	PROPOSED SINGLE AND DOUBLE STOREY REAR EXTENSION AND SINGLE STOREY SIDE EXTENSION	10 HEOL GWILYM, FAIRWATER, CARDIFF, CF5 3LF	48	True	Permission be granted	21/06/2017
17/00903/DCH	27/04/2017	Keepence	PROPOSED SINGLE STOREY SIDE EXTENSION WITH ASSOCIATED EXTERNAL AND DRAINAGE WORKS	5 CARTER PLACE, FAIRWATER, CARDIFF, CF5 3NP	35	True	Permission be granted	01/06/2017
17/01241/DCH	26/05/2017	Cox	NON- MATERIAL AMENDMENT TO 16/01414/DCH TO REMOVE THE FRENCH DOORS FROM ELEVATION AND REPLACE WITH A WINDOW ALSO PROVIDE OBLONG EXTENSION BY REMOVING THE DOG LEG ON THE ORIGINAL EXTENSION AND PROVIDE A ROOF WINDOW TO THE FLAT ROOF	11 PEACH PLACE, FAIRWATER, CARDIFF, CF5 3PL	13	True	Permission be granted	08/06/2017

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17/00885/MNR	21/04/2017	Fordham	CONVERSION OF DWELLING TO 2 FLATS	SUNNYBANK, PLAS MAWR ROAD, FAIRWATER, CARDIFF, CF5 3XN	52	True	Permission be granted	12/06/2017
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GABA

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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17/01023/DCH	09/05/2017	Bancroft	REAR GROUND FLOOR EXTENSION 4000MM OR LESS DEPTH FROM ORIGINAL MAIN HOUSE AND ANNEX WALLS, HIP TO GABLE ROOF EXTENSION AND REAR DORMER SET BACK 300MM FROM ORIGINAL MAIN HOUSE REAR WALL AND VELUX ROOF LIGHT TO FRONT NOT EXCEEDING 150MM ABOVE ROOF PLANE	31 PARKFIELD PLACE, MAINDY, CARDIFF, CF14 3AR	43	True	Permission be granted	21/06/2017
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17/01150/DCH	19/05/2017	EVANS	SINGLE STOREY REAR EXTENSION	6 SUMMERFIELD AVENUE, GABALFA, CARDIFF, CF14 3QA	25	True	Permission be granted	13/06/2017
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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17/00842/MNR	13/04/2017	Aikeojo	CHANGE OF USE TO C4 HOUSE IN MULTIPLE OCCUPATION AND MINOR ALTERATIONS TO REAR	340 WHITCHURCH ROAD, GABALFA, CARDIFF, CF14 3NG	53	True	Permission be granted	05/06/2017
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17/00774/MNR	07/04/2017	Thoburn	PROPOSED SINGLE STOREY SIDE EXTENSION. NEW PEDESTRIAN ACCESS TO FRONT COMPLETE WITH NEW RAMPED ACCESS	KINGDOM HALL OF JEHOVAH'S WITNESSES, 103 NORTH ROAD, MAINDY, CARDIFF, CF14 3AD	56	True	Permission be granted	02/06/2017
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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17/01097/DCH	16/05/2017	Colley	REAR DORMER - LOFT CONVERSION	94 SOUTH CLIVE STREET, GRANGETOWN, CARDIFF, CF11 7EF	41	True	Permission be granted	26/06/2017
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17/00976/MJR	02/05/2017	BECT Building Contractors Ltd	DISCHARGE OF CONDITIONS 2 (MATERIALS) AND 3 (ARCHITECTURAL DETAILING) OF 15/01463/MJR	PROPOSED TEMPORARY FLOATING MARINA FACILITIES BUILDING, WATKISS WAY, GRANGETOWN	55	True	Full Discharge of Condition	26/06/2017
17/00633/MJR	23/03/2017	Jehu	DISCHARGE OF CONDITIONS 18 (CYCLE STORE) AND 20 (TRAFFIC MANAGEMENT) OF 15/02040/MJR	LECKWITH COACH PARK SITE, CLOS PARC MORGANNWG, LECKWITH	91	False	Full Discharge of Condition	22/06/2017
17/01037/MJR	08/05/2017	Sytner Group	DISCHARGE OF CONDITIONS 3 (GASES) AND 13 (DRAINAGE) OF 16/00124/MJR	FORMER MCDONALDS, 287 PENARTH ROAD, LECKWITH, CARDIFF, CF11 8TT	31	True	Partial Discharge of Condition (s)	08/06/2017

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16/02808/MNR	28/11/2016	m2h architects	DISCHARGE OF CONDITION 3 (road construction details), 5 (security) AND 6 (MEANS OF ENCLOSURE) OF 16/01272/MNR	ACCESS ROAD TO BESSEMER ROAD ALLOTMENTS, LECKWITH	212	False	Full Discharge of Condition	28/06/2017
17/00482/MNR	21/03/2017	Railston Ltd	RETENTION OF EXTERNAL HVAC CONDENSERS	UNIT B, GLYNSTELL PARK, GLYNSTELL CLOSE, LECKWITH, CARDIFF, CF11 8EY	76	False	Permission be granted	05/06/2017
17/01318/MNR	07/06/2017	Iceland Foods Ltd	DISCHARGE OF CONDITION 2 (NOISE ASSESSMENT) OF 17/00850/MNR	PART UNITS G AND H, CARDIFF BAY RETAIL PARK, FERRY ROAD, GRANGETOWN, CARDIFF, CF11 0JR	8	True	Full Discharge of Condition	15/06/2017
17/01243/MNR	26/05/2017	Egeh	ADDITIONAL FLAT AND TWO STOREY REAR EXTENSION TO BE ADDED - PREVIOUSLY APPROVED UNDER 16/02163/MNR	2 PAGET STREET, GRANGETOWN, CARDIFF, CF11 7JX	34	True	Permission be granted	29/06/2017

HEAT

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00868/DCH	21/04/2017	Watts	REAR AND SIDE EXTENSION	56 ST CADOC ROAD, HEATH, CARDIFF, CF14 4NE	45	True	Permission be granted	05/06/2017
17/00882/DCH	25/04/2017	Mcilquham	PROPOSED LOFT CONVERSION WITH NEW DORMER WINDOW TO REAR, AND 4 NO. ROOF LIGHTS TO FRONT	18 RHYDHELIG AVENUE, HEATH, CARDIFF, CF14 4DD	48	True	Permission be granted	12/06/2017
17/00755/DCH	05/04/2017	Hussein	REAR ANNEX FOR ADDITIONAL LIVING SPACE TO DWELLING	155 PANTBACH ROAD, RHIWBINA, CARDIFF, CF14 1TZ	75	False	Permission be granted	19/06/2017
17/00830/DCH	19/04/2017	McEwan	SINGLE STOREY EXTENSION TO THE SIDE AND REAR	218 KING GEORGE V DRIVE EAST, HEATH, CARDIFF, CF14 4ER	55	True	Permission be granted	13/06/2017
17/00764/DCH	03/05/2017	Gould	GROUND FLOOR REAR EXTENSION AND LOFT CONVERSION	3 ST BRIOC ROAD, HEATH, CARDIFF, CF14 4HJ	48	True	Permission be granted	20/06/2017
17/01084/DCH	12/05/2017	Jones	SINGLE STOREY, SIDE EXTENSION	53 RHYDHELIG AVENUE, HEATH, CARDIFF, CF14 4DB	41	True	Permission be granted	22/06/2017
17/00845/DCH	13/04/2017	Sehrawat	PROPOSED LOFT CONVERSION WITH FLAT ROOF DORMER TO REAR.	7 MILESTONE CLOSE, HEATH, CARDIFF, CF14 4NQ	56	True	Planning Permission be refused	08/06/2017
17/00924/DCH	27/04/2017	Collis	REMOVAL OF LEAKING CONSERVATORY AND REPLACE WITH FLAT ROOF REAR SINGLE STORY EXTENSION	174 HEATHWOOD ROAD, HEATH, CARDIFF, CF14 4BR	39	True	Permission be granted	05/06/2017
17/00937/DCH	27/04/2017	Busby	SINGLE STOREY REAR EXTENSION	35 ST MALO ROAD, HEATH, CARDIFF, CF14 4HL	36	True	Permission be granted	02/06/2017

17/01199/DCH	23/05/2017	Smith	TWO STOREY & SINGLE STOREY EXTENSIONS.	54 ST BENEDICT CRESCENT, HEATH, CARDIFF, CF14 4DQ	31	True	Permission be granted	23/06/2017
17/01334/DCH	08/06/2017	Noble	HIP TO GABLE & REAR DORMER SET BACK 300MM FROM ORIGINAL MAIN HOUSE REAR WALL AND VELUX ROOF LIGHT TO FRONT NOT EXCEEDING 150MM ABOVE ROOF PLANE	176 HEATHWOOD ROAD, HEATH, CARDIFF, CF14 4BR	15	True	Permission be granted	23/06/2017
17/01105/DCH	19/05/2017	Bolton	SINGLE STOREY TO REAR AND SIDE OF BUILDING	42 MAES-Y-COED ROAD, HEATH, CARDIFF, CF14 4HG	25	True	Permission be granted	13/06/2017
17/00996/DCH	25/05/2017	Noble	GROUND FLOOR REAR EXTENSION PLUS HIP TO GABLE DORMER LOFT CONVERSION	176 HEATHWOOD ROAD, HEATH, CARDIFF, CF14 4BR	28	True	Permission be granted	22/06/2017

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17/01055/MJR	11/05/2017	Ronald McDonald House Charities (UK)	INCORPORATION OF A TREEHOUSE PLAY AREA AND ASSOCIATED LANDSCAPING WITHIN THE CURTILAGE OF THE APPROVED APPLICATION	CHILDRENS CENTRE BUILDING, UNIVERSITY HOSPITAL OF WALES, HEATH PARK WAY, HEATH, CARDIFF, CF14 4XW	28	True	Permission be granted	08/06/2017
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17/01034/MNR	08/05/2017	Jones	CHANGE OF USE FROM C3 RESIDENTIAL TO C4 6 BED HOUSE IN MULTIPLE OCCUPATION	362 NORTH ROAD, BIRCHGROVE, CARDIFF, CF14 3BP	45	True	Permission be granted	22/06/2017
A/17/00094/MNR	18/05/2017	Morgans Consult	1 NO. INTERNALLY ILLUMINATED FASCIA SIGN AND 1 NO. INTERNALLY ILLUMINATED PROJECTING SIGN	95 CAERPHILLY ROAD, BIRCHGROVE, CARDIFF, CF14 4AE	34	True	Permission be granted	21/06/2017

LISV

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00734/DCH	05/04/2017	Baraz	REMOVAL OF EXISTING CONSERVATORY TO REAR OF PROPERTY. CONSTRUCTION OF GROUND AND FIRST FLOOR EXTENSION TO REAR OF PROPERTY	21 RIDGEWAY, LISVANE, CARDIFF, CF14 0RS	58	False	Permission be granted	02/06/2017

LLAN

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17/00761/DCH	12/04/2017	Boyle	RETENTION OF GARAGE BUILDING	14 ELAN ROAD, LLANISHEN, CARDIFF, CF14 0NR	51	True	Permission be granted	02/06/2017
17/00814/DCH	13/04/2017	Jenkins	TWO STOREY AND SINGLE STOREY REAR EXTENSIONS.	118 JOHNSTON ROAD, LLANISHEN, CARDIFF, CF14 5HJ	50	True	Permission be granted	02/06/2017
17/01095/DCH	15/05/2017	Thorneycroft	TWO STOREY SIDE EXTENSION	27 CORNFIELD CLOSE, LLANISHEN, CARDIFF, CF14 5HS	45	True	Permission be granted	29/06/2017
17/01220/DCH	25/05/2017	Roberts	FRONT GROUND FLOOR EXTENSION TO ENLARGE EXISTING LOUNGE, REAR GLAZED LEAN TO ENLARGE EXISTING DINING ROOM, AND INTERNAL ALTERATIONS TO FORM NEW CLOAKS.	2 SHAFTESBURY CLOSE, THORNHILL, CARDIFF, CF14 9EJ	32	True	Permission be granted	26/06/2017
17/01146/DCH	18/05/2017	O'Gorman	REAR SINGLE STOREY EXTENSION	85 MORRIS AVENUE, LLANISHEN, CARDIFF, CF14 5JY	36	True	Permission be granted	23/06/2017
17/01163/DCH	19/05/2017	Parmar	SINGLE STOREY EXTENSION	16 CHARLOCK CLOSE, THORNHILL, CARDIFF, CF14 9FF	38	True	Permission be granted	26/06/2017

17/00940/DCH	27/04/2017	Williams	PROPOSED TWO STOREY EXTENSION TO SIDE ELEVATION.	18 GARETH CLOSE, THORNHILL, CARDIFF, CF14 9AF	36	True	Permission be granted	02/06/2017
17/00712/DCH	19/05/2017	Morgan	ENLARGE EXISTING CONSERVATORY	93 LLANGRANOG ROAD, LLANISHEN, CARDIFF, CF14 5BN	34	True	Permission be granted	22/06/2017
17/00991/DCH	15/05/2017	Hanna	DEMOLITION OF EXISTING CONSERVATORY AND GARAGE AND REPLACE WITH NEW INTEGRATED GARAGE AND SINGLE STOREY EXTENSION AND ALTERATIONS	41 STATION ROAD, LLANISHEN, CARDIFF, CF14 5UT	36	True	Permission be granted	20/06/2017

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A/17/00083/MNR	10/05/2017	Starbucks Coffee Company	INTERNALLY ILLUMINATED FASCIA SIGN	STARBUCKS COFFEE COMPANY (UK) LIMITED UNIT 4A, TY GLAS RETAIL PARK, PARC TY GLAS, LLANISHEN, CARDIFF, CF14 5DU	26	True	Permission be granted	05/06/2017
A/17/00097/MNR	18/05/2017	Morgans Consult	1 NO. INTERNALLY ILLUMINATED FASCIA SIGN AND 1 NO. INTERNALLY ILLUMINATED PROJECTING SIGN	PRINCIPALITY BUILDING SOCIETY, 18 STATION ROAD, LLANISHEN, CARDIFF, CF14 5LT	36	True	Permission be granted	23/06/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/01003/DCH	08/05/2017	Parker	TWO STOREY REAR EXTENSION, LOFT CONVERSION AND SINGLE STOREY EXTENSION TO THE SIDE.	36 INSOLE GROVE EAST, LLANDAFF, CARDIFF, CF5 2HP	46	True	Permission be granted	23/06/2017
17/00672/DCH	24/03/2017	Griffiths	ALTERATIONS TO CURRENT FRONT WALL AND ENTRANCE	8 GILIAN ROAD, LLANDAFF, CARDIFF, CF5 2PZ	70	False	Permission be granted	02/06/2017

17/00986/DCH	02/05/2017	BOND	DEMOLITION OF REAR SINGLE STOREY EXTENSION NEW REAR EXTENSIONS AND ATTIC CONVERSION	15 PROSPECT DRIVE, LLANDAFF, CARDIFF, CF5 2HL	41	True	Permission be granted	12/06/2017
17/00883/DCH	21/04/2017	Ruth Hambley and Chris Williams	FRONT PORCH, SINGLE AND DOUBLE STOREY REAR EXTENSIONS AND DOUBLE STOREY SIDE EXTENSION INCLUDING LOFT AND REAR ANNEX CONVERSIONS.	FEYDAY, 62 LLANTRISANT ROAD, LLANDAFF, CARDIFF, CF5 2PX	62	False	Permission be granted	22/06/2017
17/00615/DCH	21/03/2017	Hurley	GARDEN BUILDING	16 HOWELL'S CRESCENT, LLANDAFF, CARDIFF, CF5 2AJ	94	False	Permission be granted	23/06/2017
17/01151/DCH	19/05/2017	HUGHES	SINGLE STOREY REAR/SIDE EXTENSION AND LOFT CONVERSION WITH LARGE DORMER	123 FAIRWATER GROVE WEST, LLANDAFF, CARDIFF, CF5 2JP	31	True	Permission be granted	19/06/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00660/MNR	28/03/2017	The Girls' Day School Trust	CONSTRUCT A TRADITIONAL IN-SITU REINFORCED CONCRETE RETAINING WALL BEHIND THE EXISTING STONE WALL, THE EXISTING WALL TO BE REMOVED AND THEN THE SAME STONE, OR SIMILAR, WILL BE USED TO CONSTRUCT A STONE FACING TO THE FRONT OF THE REINFORCED CONCRETE STRUCTURE.	HOWELLS SCHOOL, CARDIFF ROAD, LLANDAFF, CARDIFF, CF5 2YD	72	False	Permission be granted	08/06/2017
A/17/00096/MNR	18/05/2017	Morgans Consult	1 NO. INTERNALLY ILLUMINATED FASCIA SIGN AND 1 NO. INTERNALLY ILLUMINATED PROJECTING SIGN	PRINCIPALITY, 36-38 HIGH STREET, LLANDAFF, CARDIFF, CF5 2DZ	35	True	Permission be granted	22/06/2017

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17/00959/DCH	28/04/2017	Alam	ERECT A NEW REAR PITCHED ROOFED KITCHEN/DINING ROOM EXTENSION, AND A FLAT ROOFED 'WORK OUT ROOM.' TO INCLUDED MISCELLANEOUS ANCILLARY WORKS.	2 ABERPORTH ROAD, GABALFA, CARDIFF, CF14 2RW	38	True	Permission be granted	05/06/2017
17/01029/DCH	17/05/2017	HOOTON	ERECTION OF DARK WOOD GRAIN PVCU CONSERVATORY TO THE REAR	38 CATHEDRAL VIEW, GABALFA, CARDIFF, CF14 2RT	27	True	Permission be granted	13/06/2017

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16/02833/MNR	08/12/2016	Govier	PROPOSED TWO STOREY EXTENSION TO SIDE TO FORM 2 SELF CONTAINED DWELLING UNITS	1 LYDSTEP CRESCENT, GABALFA, CARDIFF, CF14 2QY	201	False	Permission be granted	27/06/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/01092/DCH	26/04/2017	Hall	PROPOSED BEDROOM EXTENSION OVER EXISTING SIDE EXTENSION, PORCH EXTENSION + CONSERVATORY	9 BRIDGWATER ROAD, LLANRUMNEY, CARDIFF, CF3 5TF	58	False	Permission be granted	23/06/2017

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17/01188/MJR	24/05/2017	Wates Residential	VARIATION OF CONDITIONS 21 AND 22 OF 16/01443/MJR TO ALLOW MORE TIME FOR THE WORKS TO MOUNT PLEASANT LANE TO BE AGREED AND ENABLE THE WORKS TO BE COMPLETED AFTER COMPLETION OF THE WORKS ON SITE	FORMER LLANRUMNEY HOUSING DEPOT, MOUNT PLEASANT LANE, LLANRUMNEY, CARDIFF, CF3 5SR	34	True	Permission be granted	27/06/2017
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17/01057/MNR	15/05/2017	Greggs plc	NEW RAMP FACED IN BRICK, NEW ALUMINIUM SHOPFRONT, NEW ROLLER SHUTTERS, AND TWO NEW AIR CONDITIONING CONDENSER UNITS AND ONE EXTRACT GRILLE	72 COUNTISBURY AVENUE, LLANRUMNEY, CARDIFF, CF3 5YR	28	True	Permission be granted	12/06/2017
A/17/00086/MNR	15/05/2017	Greggs plc	1 NEW FASCIA SIGN, 1 PROJECTING SIGN AND TWO INTERNAL WINDOW GRAPHICS	72 COUNTISBURY AVENUE, LLANRUMNEY, CARDIFF, CF3 5YR	24	True	Permission be granted	08/06/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00930/DCH	27/04/2017	Fitzgerald	PROPOSED CONSERVATORY TO SIDE OF EXISTING DOMESTIC DWELLING	7 GLYN EIDDEW, PENTWYN, CARDIFF, CF23 7BP	42	True	Permission be granted	08/06/2017
17/00395/DCH	22/02/2017	Abraham	TWO STOREY EXTENSION TO SIDE AND SINGLE STOREY EXTENSION TO THE FRONT	110 GLYN EIDDEW, PENTWYN, CARDIFF, CF23 7BR	100	False	Permission be granted	02/06/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00070/DCH	13/01/2017	Bennett	PROPOSED INTERNAL ALTERATIONS TO FIRST FLOOR FLAT TO FORM ATTIC BEDROOM AND INSTALLATION OF THREE ROOFLIGHTS TO REAR ROOFSCOPE AND REINSTATEMENT OF REAR FIRST FLOOR WINDOW AND OTHER ALTERATIONS	5 PEN-Y-LAN PLACE, PENYLAN, CARDIFF, CF23 5HE	140	False	Permission be granted	02/06/2017
17/00576/DCH	16/03/2017	Ahmadi	GROUND FLOOR REAR EXTENSION, 2 STOREY SIDE EXTENSION & REAR DORMER	31 BRANDRETH ROAD, PENYLAN, CARDIFF, CF23 5NW	78	False	Permission be granted	02/06/2017
17/00746/DCH	04/04/2017	Maunder	REPLACEMENT OF HIPPED END WITH GABLE END AND CONSTRUCTION OF NEW REAR DORMER CONTAINING TWO BEDROOMS AND BATHROOM	35 DORCHESTER AVENUE, PENYLAN, CARDIFF, CF23 9BS	70	False	Permission be granted	13/06/2017
17/00031/DCH	09/01/2017	DAVIES	INSERTION OF TWO CONSERVATION ROOFLIGHTS TO REAR ELEVATION MAIN ROOF	3B TY-DRAW ROAD, PENYLAN, CARDIFF, CF23 5HA	154	False	Permission be granted	12/06/2017
17/00837/DCH	21/04/2017	Chaudhry	3 REAR DORMERS SET BACK 300mm FROM ORIGINAL MAIN HOUSE REAR WALL AND HIP TO GABLE ROOF CONVERSION	1 ARNSIDE ROAD, PENYLAN, CARDIFF, CF23 5LL	48	True	Permission be granted	08/06/2017
17/00657/DCH	29/03/2017	DREW	PROPOSED SINGLE STOREY SIDE EXTENSION, GARAGE ENLARGED WITH NEW PITCHED ROOF ADDED AND NEW BRICKWORK BOUNDARY WALL	22 WATERLOO ROAD, PENYLAN, CARDIFF, CF23 5AE	78	False	Permission be granted	15/06/2017
17/01030/DCH	08/05/2017	Townsend	REPLACEMENT OF AN EXISTING BRICK SHED WITH A NEW COMBINED SHED AND STUDIO ROOM. THE PROPOSED BUILDING WILL BE SEPARATE TO THE HOUSE AND BUILT AT THE REAR BOUNDARY OF THE PROPERTY. THE NEW STUDIO WILL PROVIDE A ROOM FOR HOBBIES	146 MARLBOROUGH ROAD, ROATH, CARDIFF, CF23 5BZ	31	True	Permission be granted	08/06/2017

17/01090/DCH	12/05/2017	Morris	TO PROVIDE REAR EXTENSION AT GROUND FLOOR WIDTH OF PROPERTY	38 FFORDD CWELLYN, PENYLAN, CARDIFF, CF23 5NB	27	True	Permission be granted	08/06/2017
17/00900/DCH	26/04/2017	Harry	ROOF ALTERATION AND ATTIC CONVERSION, INCLUDING CONSTRUCTION OF REAR DORMER	6 BRONWYDD CLOSE, PENYLAN, CARDIFF, CF23 5RA	37	True	Permission be granted	02/06/2017
17/01015/DCH	05/05/2017	Davies	SINGLE STOREY ORANGERY TO REAR OF PROPERTY	12 PEN-Y-LAN TERRACE, PENYLAN, CARDIFF, CF23 9EU	31	True	Permission be granted	05/06/2017
17/01122/DCH	16/05/2017	JONES	SINGLE STOREY REAR EXTENSION	9 LLWYN-Y-GRANT ROAD, PENYLAN, CARDIFF, CF23 9ES	37	True	Permission be granted	22/06/2017
17/00997/DCH	13/06/2017	Chaudhry	2 STOREY SIDE EXTENSION	1 ARNSIDE ROAD, PENYLAN, CARDIFF, CF23 5LL	10	True	Planning Permission be refused	23/06/2017

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17/01356/MJR	13/06/2017	Lidl UK GmbH	DISCHARGE OF CONDITION 5 (REMEDIATION SCHEME AND VERIFICATION PLAN) OF 16/02300/MJR	LIDL STORE, COLCHESTER AVENUE, PENYLAN, CARDIFF, CF23 9AN	3	True	Full Discharge of Condition	16/06/2017
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17/00756/MNR	05/04/2017	Ms Abbas	FIRST FLOOR REAR EXTENSION AND CONVERSION TO 2 DUPLEX FLATS	50 GRAFTON CLOSE, PENYLAN, CARDIFF, CF23 9JB	75	False	Planning Permission be refused	19/06/2017
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17/01152/MNR	18/05/2017	Boltman	DISCHARGE OF CONDITION 7 (DETAILS OF THE DESIGN, MATERIALS AND MEANS OF OPENING) OF 16/02038/MNR	2 WESTVILLE WALK, ROATH, CARDIFF, CF23 5DD	41	True	Full Discharge of Condition	28/06/2017
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17/00501/MNR	06/03/2017	Abbas	LOWER GROUND FLOOR REAR EXTENSION TO CREATE ONE BEDROOM SELF CONTAINED FLAT	27 BRANDRETH ROAD, PENYLAN, CARDIFF, CF23 5NW	98	False	Planning Permission be refused	12/06/2017
17/00867/MNR	28/04/2017	Jones	CHANGE OF USE TO GYM (CLASS D2)	UNIT J5, COLCHESTER AVENUE INDUSTRIAL ESTATE, COLCHESTER AVENUE, PENYLAN, CARDIFF, CF23 9AP	35	True	Permission be granted	02/06/2017

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17/01017/DCH	05/05/2017	Harris	SINGLE STOREY REAR EXTENSION	211 INVERNESS PLACE, ROATH, CARDIFF, CF24 4RY	39	True	Permission be granted	13/06/2017

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15/03002/MJR	18/12/2015	Abedi	PARTIAL DEMOLITION OF PART OF NO.20 AND COACH HOUSE TO REAR. PROVISION OF NEW 2 STOREY EXTENSION COMPRISING 4 FLATS AND THE ASSOCIATED ALTERATION AND 2 STOREY EXTENSION OF NO.20 THE PARADE AND COACH HOUSE	18, 19 AND 20 THE PARADE, ROATH, CARDIFF, CF24 3AA	536	False	Permission be granted	06/06/2017

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17/00175/MNR	01/02/2017	Galliaccio	PROPOSED DEVELOPMENT FOR 3N. STUDENT STUDIOS BLOCK	6 RICHMOND ROAD, ROATH, CARDIFF, CF24 3AS	135	False	Permission be granted	16/06/2017
17/00632/MNR	21/03/2017	Castle Health Ltd	ALTERATIONS TO EXTERIOR OF BUILDING	6A DALCROSS STREET, ROATH, CARDIFF, CF24 4UB	83	False	Permission be granted	12/06/2017
17/00294/MNR	16/02/2017	Powling	REAR DORMER ROOF EXTENSION AND CHANGE OF USE FROM SINGLE RESIDENTIAL DWELLING TO FOUR SELF CONTAINED FLATS	59 ARABELLA STREET, ROATH, CARDIFF, CF24 4SX	130	False	Permission be granted	26/06/2017
17/00242/MNR	06/02/2017	Salih	GROUND AND FIRST FLOOR REAR EXTENSION AND ALTERATIONS TO EXISTING 5 FLATS	117 RICHMOND ROAD, ROATH, CARDIFF, CF24 3BS	133	False	Planning Permission be refused	19/06/2017
17/01204/MNR	26/05/2017	James Carter : Alan Barker Partnership	5 NO SELF CONTAINED FLATS	96 CONNAUGHT ROAD, ROATH, CARDIFF, CF24 3PY	13	True	Permission be granted	08/06/2017
17/01160/MNR	18/05/2017	Mohammad	CONVERSION OF GROUND FLOOR INTO A DENTAL PRACTICE WITH SINGLE STOREY REAR EXTENSION	1 BANGOR STREET, ROATH, CARDIFF, CF24 3LQ	34	True	Permission be granted	21/06/2017
17/00909/MNR	10/05/2017	Ahmed	CHANGE OF USE WAREHOUSE STORAGE TO 4 RETAIL UNITS	55-61 CITY ROAD, ROATH, CARDIFF, CF24 3BL	40	True	Permission be granted	19/06/2017

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17/00962/DCH	28/04/2017	Horgan	GROUND FLOOR REAR EXTENSION PLUS CONVERSION OF GARAGE TO STUDY	4 ACORN GROVE, PONTPRENNAU, CARDIFF, CF23 8NG	56	True	Permission be granted	23/06/2017
17/00938/DCH	27/04/2017	Wong	SMALL SINGLE STOREY EXTENSION TO REAR OF PROPERTY	2 CLOS CWM DU, PONTPRENNAU, CARDIFF, CF23 8LE	47	True	Permission be granted	13/06/2017

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17/00488/MJR	08/03/2017	Charles Church	RESERVED MATTERS IN RESPECT OF 13/00578/DCO (APPEARANCE, LANDSCAPING, LAYOUT AND SCALE) FOR PHASE 2 OF ST EDEYRNS VILLAGE COMPRISING OF 130 DWELLINGS WITH ASSOCIATED LANDSCAPING, LAND RE-PROFILING, ACCESS AND HIGHWAY WORKS AND DISCHARGE OF CONDITIONS 15, 22 AND 23 OF THE OUTLINE CONSENT	PHASE 2, LAND EAST OF CHURCH ROAD AND NORTH AND SOUTH OF, BRIDGE ROAD, OLD ST MELLONS	93	False	Permission be granted	09/06/2017
17/00731/MJR	10/04/2017	Persimmon Homes East Wales	VARIATION OF CONDITION 1 OF 14/02556/MJR TO SUBSTITUTE THE DRAWINGS TO ALLOW CHANGES TO THE APPROVED LAYOUT AND SEEK APPROVAL FOR TWO NEW HOUSE TYPES.	PHASE 1, LAND EAST OF CHURCH ROAD AND NORTH AND SOUTH OF, BRIDGE ROAD, OLD ST MELLONS	65	False	Permission be granted	14/06/2017

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17/01118/MNR	16/05/2017	Bell	DISCHARGE OF CONDITIONS 4 (HARD AND SOFT LANDSCAPING) AND 9 (SITE ENCLOSURE) OF 12/00766/DCO	LAND ADJACENT TO SWALLOW COTTAGE, DRUIDSTONE ROAD, OLD ST MELLONS, CARDIFF, CF3 6XD	44	True	Full Discharge of Condition	29/06/2017
17/00826/MNR	13/04/2017	ALDI Stores Ltd	NEW PLANT AND EXTERNAL ALTERATIONS INVOLVING RENDERING AND NEW RIBBON WINDOWS.	ALDI FOODSTORE LTD, DARTINGTON DRIVE, PONTPRENNAU, CARDIFF, CF23 8SQ	50	True	Permission be granted	02/06/2017

PYCH

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17/00280/DCH	13/03/2017	Mayo	PROPOSED LOFT CONVERSION WITH A RAISED RIDGE TO CREATE TWO BEDROOMS AND BATHROOM AT FIRST FLOOR LEVEL	GARTH UCHAF FARM COTTAGE, EFAIL ISAF ROAD, PENTYRCH, CARDIFF, CF15 9NQ	108	False	Permission be granted	29/06/2017
17/00767/DCH	07/04/2017	Amos	PROPOSED EXTENSION TO SIDE OF EXISTING DWELLING TO PROVIDE NEW BEDROOM AND ENSUITE BATHROOM.	4 CLOS CAEWAL, PENTYRCH, CARDIFF, CF15 9QT	62	False	Permission be granted	08/06/2017

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17/00777/MNR	11/04/2017	DeCOURCEYS MANOR	ACCOMMODATION BLOCK ANNEXED TO EXISTING FACILITY	DE COURCEY'S MANOR, CHURCH ROAD, CREIGIAU, CARDIFF, CF15 9QN	65	False	Permission be granted	15/06/2017

RADY

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17/00607/DCH	22/03/2017	Williams	PROPOSED EXTENSIONS & ALTERATIONS TO THE EXISTING DWELLING, INCLUDING MINOR INTERNAL AND EXTERNAL WORKS. NEW FRONT BOUNDARY WALL AND ACCESS GATES, INCLUDING PART DEMOLITION OF EXISTING BOUNDARY WALL.	2 CLOS BRYNMELLYN, RADYR, CARDIFF, CF15 8DE	72	False	Permission be granted	02/06/2017
17/00627/DCH	22/03/2017	Sohanpal	TWO STOREY HOUSE EXTENSION ON THE REAR + NEW PORCH	10 FFORDD LAS, RADYR, CARDIFF, CF15 8EP	72	False	Permission be granted	02/06/2017

17/01043/DCH	15/05/2017	Mahapatra	CONVERSION OF FORMER GARAGE AREA, THE CONSTRUCTION OF A SINGLE STOREY REAR EXTENSION WITH 1ST FLOOR ACCESS TO ROOF AREA ABOVE/ROOF TERRACE AND ATTIC CONVERSION WITH DORMER WINDOW	137 HEOL ISAF, RADYR, CARDIFF, CF15 8DX	35	True	Permission be granted	19/06/2017
17/01056/DCH	10/05/2017	Christian	SINGLE STOREY EXTENSION TO SIDE OF GARAGE AND EXTENSION OF PORCH	25 WALNUT TREE CLOSE, RADYR, CARDIFF, CF15 8SX	29	True	Permission be granted	08/06/2017

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17/01202/MNR	23/05/2017	Lewis-Chapman	TEMPORARY 2 YEAR CHANGE OF USE FROM C3 RESIDENTIAL TO B1 OFFICE.	THE BUNGALOW, RADYR GOLF CLUB, DRYSGOL ROAD, RADYR, CARDIFF, CF15 8BS	30	True	Permission be granted	22/06/2017
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RHIW

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17/00479/DCH		Paddison	FRONT PORCH, INTERNAL ALTERATION, NEW RAISED PATIO/PLATFORM.	143 HEOL-Y-COED, RHIWBINA, CARDIFF, CF14 6HS			Permission be granted	08/06/2017
17/01000/DCH	08/05/2017	D J Hill Engineering Services Ltd	CAR PORT TO SIDE	9 BRYNTEG, RHIWBINA, CARDIFF, CF14 6TS	42	True	Permission be granted	19/06/2017
17/00598/DCH	04/04/2017	Harrison	ALTERATIONS TO LAYOUT OF INTERNAL PARTITIONS. ASSOCIATED REPLACEMENT OF WINDOWS. REPLACEMENT OF WINDOW AND PATIO DOORS ON REAR ELEVATION WITH PATIO DOORS.	3 LON ISA, RHIWBINA, CARDIFF, CF14 6ED	77	False	Permission be granted	20/06/2017

17/00074/DCH	16/01/2017	Shipman	DOUBLE STOREY EXTENSION	15 LLWYN RHOSYN, RHIWBINA, CARDIFF, CF14 6NS	150	False	Permission be granted	15/06/2017
17/01042/DCH	08/05/2017	Hart	HIP TO GABLE AND REAR DORMER ROOF EXTENSION	46 HEOL-Y-NANT, RHIWBINA, CARDIFF, CF14 6BT	46	True	Permission be granted	23/06/2017
17/00987/DCH	02/05/2017	Lawley	FIRST FLOOR EXTENSION OVER EXISTING GROUND FLOOR SIDE EXTENSION, ROOF TO EXISTING SINGLE STOREY REAR EXTENSION. EXTERNAL REMODELLING AND EXTENSION OF ATTIC AREA.	12 LON GANOL, RHIWBINA, CARDIFF, CF14 6EB	55	True	Permission be granted	26/06/2017
17/01069/DCH	12/05/2017	Price	TWO STOREY REAR EXTENSION WITH SINGLE STOREY SIDE AND REAR EXTENSION WITH DEMOLITION OF EXISTING SINGLE STOREY GARAGE.	153 HEOL-Y-DERI, RHIWBINA, CARDIFF, CF14 6UH	45	True	Permission be granted	26/06/2017
17/01048/DCH	10/05/2017	Davies	REMOVAL OF EXISTING SINGLE STOREY GARAGE ALONG WITH ASSOCIATED STRUCTURES. CONSTRUCTION OF TWO STOREY SIDE EXTENSION WITH REMOVAL OF SIDE DORMER. EXTERNAL WORKS AND REINSTATEMENT OF FRONT DOOR POSITION	60 BRYNTEG, RHIWBINA, CARDIFF, CF14 6TT	48	True	Permission be granted	27/06/2017
17/00206/DCH	09/03/2017	Boyle	REPLACE THE FRONT UPSTAIRS BEDROOM WINDOW WITH A FRAME THAT REPLICATES THE ORIGINAL DESIGN FOR THE GARDEN VILLAGE	22 Y GROES, RHIWBINA, CARDIFF, CF14 6DX	89	False	Permission be granted	06/06/2017
17/00238/DCH	09/03/2017	Boyle	REPLACE THE FRONT BEDROOM WINDOW WITH A FRAME THAT REPLICATES THE ORIGINAL DESIGN FOR THE GARDEN VILLAGE	22 Y GROES, RHIWBINA, CARDIFF, CF14 6DX	89	False	Permission be granted	06/06/2017
17/00823/DCH	24/04/2017	Whitbread	SINGLE STOREY SIDE EXTENSION & DEMOLITION OF EXISTING OUTBUILDINGS	40A HEOL-YR-EFAIL, RHIWBINA, CARDIFF, CF14 4SS	42	True	Permission be granted	05/06/2017
17/01079/DCH	11/05/2017	Carbis	LOFT CONVERSION WITH REAR DORMER WINDOW AND FRONT ROOF LIGHTS	17 WAUN-Y-GROES ROAD, RHIWBINA, CARDIFF, CF14 4SW	39	True	Permission be granted	19/06/2017

17/01073/DCH	16/05/2017	Dickson	SINGLE STOREY DOMESTIC EXTENSION TO SIDE OF PROPERTY	7 CHARLOTTE SQUARE, RHIWBINA, CARDIFF, CF14 6ND	35	True	Permission be granted	20/06/2017
17/00980/DCH	02/05/2017	Combes	SINGLE STOREY REAR EXTENSION	48 WENALLT ROAD, RHIWBINA, CARDIFF, CF14 6SE	37	True	Permission be granted	08/06/2017

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17/00781/DCH	10/04/2017	Jones	REPLACE 2 No. EXISTING WINDOWS TO THE REAR OF THE PROPERTY ON THE 1st FLOOR. EXISTING SINGLE GLAZED TIMBER WINDOWS ARE TO BE REPLACED WITH SIMILAR STYLE UPVC WINDOWS	20 TALBOT STREET, RIVERSIDE, CARDIFF, CF11 9BW	56	True	Permission be granted	05/06/2017
17/01106/DCH	18/05/2017	Kingston	SINGLE STOREY EXTENSION TO REAR OF THE PROPERTY TO INCREASE AND ENHANCE EXISTING KITCHEN AND DINING SPACE	35 HAMILTON STREET, RIVERSIDE, CARDIFF, CF11 9BP	42	True	Permission be granted	29/06/2017
17/00536/DCH	09/03/2017	Lewis	ONE & TWO STOREY REAR EXTENSION	13 SEVERN GROVE, PONTCANNA, CARDIFF, CF11 9EN	106	False	Permission be granted	23/06/2017
17/00722/DCH	07/04/2017	Ireland	REAR EXTENSION, TO INCREASE THE SIZE OF THE KITCHEN AREA.	75 PLASTURTON AVENUE, PONTCANNA, CARDIFF, CF11 9HN	77	False	Permission be granted	23/06/2017
17/00798/DCH	11/04/2017	Williams	RETENTION OF 1 No. VELUX CONSERVATION ROOF WINDOW TO THE FRONT ELEVATION OF EXISTING DWELLING HOUSE	2 HAMILTON STREET, RIVERSIDE, CARDIFF, CF11 9BP	62	False	Planning Permission be refused	12/06/2017

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17/00715/MNR	20/04/2017	Tarafder	CHANGE OF USE OF COMMERCIAL SPACE BACK TO RESIDENTIAL	28 WELLS STREET, RIVERSIDE, CARDIFF, CF11 6DX	63	False	Permission be granted	22/06/2017
17/00846/MNR	19/04/2017	Murray	RETAIN PARTIAL CHANGE OF USE OF GROUND FLOOR TO PERSONAL TRAINING STUDIO	90 CATHEDRAL ROAD, RIVERSIDE, CARDIFF, CF11 9LN	55	True	Permission be granted	13/06/2017
16/03062/MNR	03/01/2017	JONES HUGHES	CONVERT EXISTING FOUR BED DWELLING INTO 2NO 2 BEDROOM APARTMENTS CONSTRUCT SINGLE STOREY EXTENSION TO REAR AND NEW DORMER TO REAR	33 ROMILLY CRESCENT, CANTON, CARDIFF, CF11 9NP	178	False	Permission be granted	30/06/2017
A/17/00095/MNR	18/05/2017	Morgans Consult	1 NO. INTERNALLY ILLUMINATED FASCIA SIGN AND 1 NO. INTERNALLY ILLUMINATED PROJECTING SIGN	PRINCIPALITY BUILDING SOCIETY, 174 COWBRIDGE ROAD EAST, RIVERSIDE, CARDIFF, CF11 9NE	35	True	Permission be granted	22/06/2017
A/17/00074/MNR	28/04/2017	HSBC CRE	REPLACEMENT OF 3NO FASCIA SIGNS, 1NO PROJECTING SIGN, 3NO ATM SIGNS, 1NO NAMEPLATE AND INSTALLATION OF 2NO REVERSE APPLIED VINYL WINDOW SIGNS	HSBC BANK PLC, 259 COWBRIDGE ROAD EAST, RIVERSIDE, CARDIFF, CF11 9TN	38	True	Permission be granted	05/06/2017
17/01083/MNR	11/05/2017	Khan	VARIATION OF CONDITION 3 (OPENING HOURS) OF 15/01527/MNR TO ALLOW OPENING UNTIL 00:00 MIDNIGHT	10-12 NEVILLE STREET, RIVERSIDE, CARDIFF, CF11 6LR	33	True	Permission be granted	13/06/2017

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17/00895/DCH	26/04/2017	Ayres	DOMESTIC EXTENSION TO THE REAR AND SIDE OF THE PROPERTY AND DEMOLITION OF AN EXISTING REAR ANNEX AND DETACHED GARAGE	77 TY-FRY ROAD, RUMNEY, CARDIFF, CF3 3NS	37	True	Permission be granted	02/06/2017

17/01226/DCH	26/05/2017	Jabbar	PROPOSED SINGLE STOREY REAR AND PART SIDE EXTENSION WITH ASSOCIATED EXTERNAL WORKS	12 NEW ROAD, RUMNEY, CARDIFF, CF3 3AA	34	True	Permission be granted	29/06/2017
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17/00939/MNR	27/04/2017	Rivers Fitness Limited	CHANGE OF USE FROM B1/B2 TO D2 (CROSSFIT GYM)	UNIT 3, LAMBY WAY WORKSHOPS, LAMBY WAY, WENTLOOG, CARDIFF, CF3 2EQ	63	False	Permission be granted	29/06/2017
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A/17/00098/MNR	18/05/2017	Morgans Consult	1 NO. INTERNALLY ILLUMINATED FASCIA SIGN AND 1 NO. INTERNALLY ILLUMINATED PROJECTING SIGN	PRINCIPALITY BUILDING SOCIETY, 796-798 NEWPORT ROAD, RUMNEY, CARDIFF, CF3 4FH	36	True	Permission be granted	23/06/2017
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17/00963/DCH	28/04/2017	Britton	GROUND & FIRST FLOOR REAR EXTENSION PLUS INTRODUCTION OF NEW SIDE FACING WINDOWS	18 DALMUIR ROAD, TREMORFA, CARDIFF, CF24 2PW	46	True	Permission be granted	13/06/2017
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17/01178/MJR	23/05/2017	Cardiff Community Housing Association	ALTERATIONS TO EXTERNAL HARD LANDSCAPING, JULIETTE BALCONY DESIGN CHANGES, RE-POSITIONING OF CYCLE STORAGE AND REMOVAL OF 1NO. TREE PREVIOUSLY APPROVED UNDER 13/01313/DCI	LAND TO THE SOUTH SIDE, MOORLAND ROAD, SPLOTT	14	True	Permission be granted	06/06/2017
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17/00834/MNR	13/04/2017	Gellespie	ERECTION OF ATTACHED HOUSE	PART OF LAND AT 95 CLYDESMUIR ROAD, TREMORFA, CARDIFF, CF24 2PY	56	True	Permission be granted	08/06/2017
A/17/00066/MNR	27/04/2017	JUMPING FIT LTD	2 SIGNS LOCATED ON BUILDING ELEVATIONS	UNIT 5B TRIDENT PARK, NETTLEFOLD ROAD, SPLOTT	42	True	Permission be granted	08/06/2017
17/00399/MNR	27/02/2017	THE MALTINGS LTD	TO FACILITATE OFFICE USE PROVISION OF NEW VELUX ROOF WINDOWS TO THE CONCEALED EAST ELEVATIONS OF H1 + H2 AND TO CONCEALED WEST ELEVATION OF HOUSE 2	THE MALTINGS, EAST TYNDALL STREET, SPLOTT, CARDIFF, CF24 5EA	109	False	Permission be granted	16/06/2017
17/00400/MNR	22/02/2017	THE MALTINGS LTD	TO FACILITATE OFFICE USE PROVISION OF NEW VELUX ROOF WINDOWS TO THE CONCEALED EAST ELEVATIONS OF H1 + H2 AND TO CONCEALED WEST ELEVATION OF HOUSE 2	THE MALTINGS, EAST TYNDALL STREET, SPLOTT, CARDIFF, CF24 5EA	114	False	Permission be granted	16/06/2017
A/17/00068/MNR	27/04/2017	Cardiff Soft Play Ltd	RETROSPECTIVE APPLICATION FOR THE RETENTION OF 7 PREVIOUSLY INSTALLED SIGNS	UNIT 5, NEPTUNE POINT, VANGUARD WAY, SPLOTT, CARDIFF, CF24 5PG	49	True	Permission be granted	15/06/2017
17/00907/MNR	03/05/2017	Greenwell	CHANGE OF USE TO ARTS THERAPY CENTRE	STUDENT ADVANTAGE CARD LTD UNIT 2, EAST MOORS BUSINESS PARK, EAST MOORS ROAD, SPLOTT, CARDIFF, CF24 5JX	36	True	Permission be granted	08/06/2017

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17/01066/DCH	10/05/2017	Lloyd	SINGLE STOREY EXTENSION TO REAR AND RELOCATION OF BOUNDARY WALL TO MATCH EXISTING - REPLACEMENT OF FENCE WITH LOW LEVEL BRICK FACING WALL TO FRONT ELEVATION	85 SPENCER DAVID WAY, ST MELLONS, CARDIFF, CF3 0QB	34	True	Permission be granted	13/06/2017

17/01052/DCH	09/05/2017	O'Shea	SINGLE STOREY SIDE EXTENSION AND PORCH	12 CARADOC CLOSE, ST MELLONS, CARDIFF, CF3 0LQ	30	True	Permission be granted	08/06/2017
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17/00908/MJR	02/05/2017	David Wilson Homes	DISCHARGE OF CONDITION 4 (ARBORICULTURAL METHOD STATEMENT (AMS) AND A SOIL RESOURCE SURVEY (SRS) AND PLAN (SRP)) OF 16/01150/MJR	SPRINGFIELD NURSERIES, NEWPORT ROAD, ST MELLONS, CARDIFF, CF3 2WJ	42	True	Full Discharge of Condition	13/06/2017
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17/00725/MJR	05/04/2017	David Wilson Homes SW	DISCHARGE OF CONDITIONS 8 (MATERIALS SAMPLES), 12 (LANDSCAPING), 24 (VEHICLE TRACKING), 28 (HIGHWAY AND DRAINAGE DESIGN), 30 (PHASING PLAN) AND 31 (CONSTRUCTION METHOD STATEMENT) OF 13/1172/DCO	SPRINGFIELD NURSERIES, NEWPORT ROAD, ST MELLONS, CARDIFF, CF3 2WJ	82	False	Full Discharge of Condition	26/06/2017
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17/01196/MJR	26/05/2017	City and County of Cardiff	DISCHARGE OF CONDITION 6 (FLOODLIGHTS) OF 16/01400/MJR	ST MELLONS HUB, CRICKHOWELL ROAD, ST MELLONS, CARDIFF, CF3 0EF	33	True	Full Discharge of Condition	28/06/2017
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17/01153/MJR	18/05/2017	Willmott Dixon	DISCHARGE OF CONDITION 18 (BIN STORE, SPRINKLER TANK AND HOUSING, GRANDSTAND, SPORTS PITCH STORAGE OR EXTERNAL DINING CANOPY) OF 15/02513/MJR	FORMER CARDIFF AND VALE COLLEGE, TROWBRIDGE ROAD, TROWBRIDGE, CARDIFF, CF3 1QJ	28	True	Full Discharge of Condition	15/06/2017
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17/00737/MNR	27/04/2017	Cardiff and Vale College	THE CONSTRUCTION OF NEW TEACHING AND WELFARE FACILITIES, REMOVAL OF THE EXISTING TEACHING BLOCK AND RE-CLADDING OF THE EXISTING ENGINEERING BUILDINGS	CARDIFF AND VALE COLLEGE, TROWBRIDGE ROAD, TROWBRIDGE, CARDIFF, CF3 1QJ	43	True	Permission be granted	09/06/2017
17/01050/MNR	10/05/2017	Atlantic Recycling Ltd	THE ERECTION OF A 6M HIGH LITTER NET	ATLANTIC ECO PARK, TY TO MAEN FARM, NEWTON ROAD, WENTLOOG, CARDIFF, CF3 2EJ	40	True	Permission be granted	19/06/2017

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17/00918/DCH	03/05/2017	Skagestad	CONSERVATORY TO THE REAR ELEVATION OF THE PROPERTY	26 CASTLE ROAD, TONGWYNLAIS, CARDIFF, CF15 7JQ	41	True	Permission be granted	13/06/2017
17/00799/DCH	11/04/2017	Morgan	FIRST FLOOR DORMER WINDOWS TO SIDE ELEVATIONS	24 CAEGWYN ROAD, WHITCHURCH, CARDIFF, CF14 1QN	62	False	Permission be granted	12/06/2017
17/00899/DCH	24/04/2017	Hate	PROPOSED SINGLE STOREY REAR EXTENSION	13 PLAS-Y-LLAN, WHITCHURCH, CARDIFF, CF14 2AF	45	True	Permission be granted	08/06/2017
17/00904/DCH	25/04/2017	Wicks	DEMOLITION OF EXISTING REAR EXTENSION & DETACHED GARAGE. 2 STOREY EXTENSION TO SIDE & REAR, SINGLE STOREY EXTENSION TO REAR & LOFT CONVERSION	50 ATHELSTAN ROAD, WHITCHURCH, CARDIFF, CF14 2EP	42	True	Permission be granted	06/06/2017

17/00870/DCH	04/05/2017	Jones	DORMER LOFT CONVERSION, HIP TO GABLE EXTENSION & REAR SINGLE STOREY EXTENSION	23 CORYTON RISE, WHITCHURCH, CARDIFF, CF14 7EJ	50	True	Permission be granted	23/06/2017
17/00923/DCH	03/05/2017	Eldridge	2 STOREY SIDE EXTENSION (ABOVE EXISTING SINGLE STOREY)	15 CWM GWYNLAIS, TONGWYNLAIS, CARDIFF, CF15 7HU	43	True	Permission be granted	15/06/2017
17/00831/DCH	19/04/2017	Phillips	DEMOLITION OF THE EXISTING PITCHED ROOF OVER THEIR GROUND FLOOR REAR EXTENSION, ADD A FURTHER FLOOR AT FIRST FLOOR LEVEL ON TOP OF THE EXISTING EXTENSION AND LIGHTLY EXTEND THE PROPERTY TO THE SIDE OF THE HOUSE TO PROVIDE A MORE SECURE GARDEN AND IMPROVED INTERNAL ACCOMMODATION.	24 KELSTON ROAD, WHITCHURCH, CARDIFF, CF14 2AJ	64	False	Permission be granted	22/06/2017
17/00506/DCH	06/03/2017	Leask	1ST FLOOR BEDROOM AND ENSUITE EXTENSION ABOVE EXISTING GARAGE.	1 HEOL WAUN Y NANT, WHITCHURCH, CARDIFF, CF14 1JZ	88	False	Planning Permission be refused	02/06/2017
17/01035/DCH	11/05/2017	Dimond	CONSTRUCTION OF A SINGLE STOREY CONTEMPORARY GLAZED EXTENSION TO THE REAR OF PROPERTY	1 NORMAN ROAD, WHITCHURCH, CARDIFF, CF14 1PS	32	True	Permission be granted	12/06/2017
17/01001/DCH	03/05/2017	Vanstone	REMOVAL OF EXISTING CONSERVATORY AND CONSTRUCTION OF SINGLE STOREY GROUND FLOOR REAR EXTENSION	77 LON-Y-CELYN, WHITCHURCH, CARDIFF, CF14 7BU	33	True	Permission be granted	05/06/2017
17/01190/DCH	26/05/2017	Oates	PROPOSED NEW SINGLE STOREY SIDE EXTENSION	9 KINGSLAND ROAD, WHITCHURCH, CARDIFF, CF14 2EJ	31	True	Permission be granted	26/06/2017
17/01238/DCH	02/06/2017	Barber	AMENDMENTS TO 16/01462/DCH REMOVAL OF RECESS AND ALTERATIONS TO WINDOWS AT FIRST FLOOR LEVEL	15 TY'N-Y-PARC ROAD, WHITCHURCH, CARDIFF, CF14 6BG	18	True	Permission be granted	20/06/2017
17/01161/DCH	22/05/2017	Jones	EXTENSION TO CREATE LOFT SPACE, LOFT CONVERSION WITH DORMER AND INCREASE HEIGHT OF MAIN AND SIDE ROOFS	7 ELMGROVE ROAD, WHITCHURCH, CARDIFF, CF14 2BW	31	True	Permission be granted	22/06/2017

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17/01018/MNR	05/05/2017	Cardiff Council	ONE UHF SKY MAST ANTENNA ON ROOF OF SYCAMORE HOUSE, HOLLYBUSY ESTATE	SYCAMORE HOUSE, HOLLYBUSH ESTATE, WHITCHURCH, CARDIFF, CF14 7DY	46	True	Permission be granted	20/06/2017
17/00936/MNR	17/05/2017	HJW Estates Ltd	AMENDMENTS TO 16/02688/MNR - RAISE HEIGHT OF LEAN-TO WALL AND REMOVE WALL TO CREATE INTEGRAL ROOM IN OUTBUILDING	88 MERTHYR ROAD, WHITCHURCH, CARDIFF, CF14 1DJ	28	True	Permission be granted	14/06/2017
A/17/00102/MNR	22/05/2017	Starbucks Coffee Company	FASCIA SIGNAGE: 1 NO. SIGN DISK/ROUNDEL ILLUMINATED 2 NO. SIGN "DRIVE THRU 24HR" ILLUMINATED 1 NO. SIGN "DRIVE THRU" ILLUMINATED 1 NO. SIGN "STARBUCKS" ILLUMINATED SITE SIGNAGE: 2 NO. MENU BOARDS 1 NO. TOTEM SIGN 1 NO. DIRECTIONAL SIGN 1 NO. DIRECTIONAL/EXIT SIGN	STARBUCKS, LONGWOOD DRIVE, WHITCHURCH, CARDIFF, CF14 7EW	35	True	Permission be granted	26/06/2017
A/17/00100/MNR	18/05/2017	Morgans Consult	1 NO. INTERNALLY ILLUMINATED FASCIA SIGN AND 1 NO. INTERNALLY ILLUMINATED PROJECTING SIGN	THE PRINCIPALITY BUILDING SOCIETY, GROUND AND FIRST FLOORS, 21-23 MERTHYR ROAD, WHITCHURCH, CARDIFF, CF14 1DA	39	True	Permission be granted	26/06/2017
17/01257/MNR	31/05/2017	PMG 3 Ltd	AMENDMENTS TO 16/02186/MNR - RELOCATION OF PROPOSED CYCLE HOOPS	ASDA FILLING STATION, LONGWOOD DRIVE, WHITCHURCH, CARDIFF, CF14 7EW	27	True	Permission be granted	27/06/2017

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